

AGENDA

REGULAR MEETING OF RECLAMATION DISTRICT 900

FEBRUARY 16, 2023

Martha Guerrero, President

Norma Alcala, Trustee
Quirina Orozco, Trustee

Verna Supizio Hull, Trustee
Dawnte Early, Trustee

Blake Johnson, General Manager/Secretary
Greg Fabun, Interim Assistant General Manager
Ralph Nevis, District Attorney

6:00 PM CALL TO ORDER

Pursuant to Government Code section 54953, as amended by Assembly Bill 361 (2021), and due to the State of Emergency declared by the Governor on March 4, 2020, members of Reclamation District 900 Board of Trustees and staff will participate in this meeting via a teleconference. To reduce the spread of COVID-19, members of the public may watch the meeting livestream at <https://youtube.com/live/GdXqLOlrmJg?feature=share>. Those members of the public who wish to do so are invited to participate in the meeting via Zoom using the following access information: [Join Zoom meeting](#); or by phone +1 669 900 6833 US (San Jose). Meeting ID: 868 1243 6851; Passcode: 235043

If you need special assistance to participate in this meeting, please contact RD 900 at 916-371-1483. Notification of at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting.

GENERAL ADMINISTRATION – PART I

- 1A. PRESENTATIONS BY THE PUBLIC ON MATTERS NOT ON THE AGENDA WITHIN THE JURISDICTION OF THE DISTRICT. THE AGENCY IS PROHIBITED BY LAW FROM DISCUSSING ISSUES NOT ON THE AGENDA BROUGHT TO THEM AT THIS TIME.

CONSENT AGENDA – PART II

2. CONSIDERATION OF RESOLUTION 23-02-01 ADOPTING FINDINGS NECESSARY TO CONTINUE CONDUCTING RECLAMATION DISTRICT 900 BOARD MEETINGS VIA TELECONFERENCE PURSUANT TO ASSEMBLY BILL 361
Comment: This item seeks Board approval to continue remote (teleconference/videoconference) Board meetings by finding, pursuant to Assembly Bill 361 (AB 361), that the Board has reconsidered the circumstances of the state of emergency related to the COVID-19 Pandemic and that the Yolo County Public Health Officer continues to recommend measures to promote social distancing.
3. CONSIDERATION OF THE PURCHASE OF AN AEBI TERRATRAC TT211 SLOPE MOWER WITH FRONT FLAIL MOWER ATTACHMENT
Comment: This item seeks Board approval to purchase an AEBI Terratrak TT211 Slope Mower with a front flail mower attachment to replace the District's slope mower that caught fire during the summer of 2022.
4. CONSIDERATION OF ENCROACHMENT PERMIT – ASTOUND BUSINESS SOLUTIONS POWERED BY WAVE
Comment: This item seeks Board approval for this encroachment permit by Astound Business Solutions Powered by Wave. This encroachment is to place fiber optic cable under RD 900's drainage canal west of Ramos Drive.

5. CONSIDERATION OF APPROVAL OF THE JANUARY 19, 2023 BOARD MEETING MINUTES

REGULAR AGENDA – PART III

6. CONSIDERATION TO ENDORSE THE PROPOSED PHASE 6 PROJECT BY SMART GROWTH INVESTORS II, LLC AT THE CORNER OF MILL AND RIVERFRONT STREETS FOR THE CENTRAL VALLEY FLOOD PROTECTION BOARD

Comment: This item seeks Board approval to endorse the Phase 6 Project along Mill and Riverfront Streets. This project is adjacent to the Sacramento River and within jurisdiction of the Central Valley Flood Protection Board (CVFPB). As part of the CVFPB's permit process, an endorsement from the local maintaining agency (RD 900) is requested.

7. RECLAMATION DISTRICT 900 BOARD MEETINGS

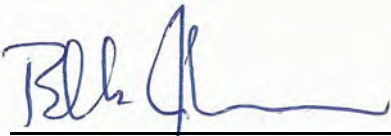
Comment: This item seeks Board input for the District's in-person Board Meetings starting in March 2023.

8. GENERAL MANAGER UPDATES

9. TRUSTEE COMMENTS


10. ADJOURN

I, Blake Johnson, General Manager/Secretary, declare under penalty of perjury that the foregoing agenda for the February 16, 2023, meeting of Reclamation District 900 was posted on February 13, 2023, at the rear entrance of the City of West Sacramento City Hall, 1110 West Capitol Avenue, West Sacramento, CA and at the office of Reclamation District 900, 889 Drever Street, West Sacramento, CA, and was available for public review.



Blake Johnson, General Manager/Secretary
Reclamation District 900

All public materials related to an item on this agenda submitted to the District after distribution of the agenda packet are available for public inspection on the District's website at: www.rd900.org. Any document provided at the meeting by staff will also be available to the public. Any document provided at the meeting by the public will be available the next business day following the meeting.

MEETING DATE: February 16, 2023		ITEM # 2		
	SUBJECT: CONSIDERATION OF RESOLUTION 23-02-01 RATIFYING THE PROCLAMATION OF A STATE OF EMERGENCY BY GOVERNOR NEWSOM AS APPLICABLE IN THE DISTRICT AND AUTHORIZING TELECONFERENCE MEETINGS OF LEGISLATIVE BODIES OF RECLAMATION DISTRICT 900 PURSUANT TO THE RALPH M. BROWN ACT			
	INITIATED OR REQUESTED BY: <input type="checkbox"/> Council <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Other	REPORT COORDINATED OR PREPARED BY: Blake Johnson, General Manager		
ATTACHMENT <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Information	<input type="checkbox"/> Direction	<input checked="" type="checkbox"/> Action

OBJECTIVE

The objective of this report is to present sufficient information to the Reclamation District 900 (RD 900/District) Board of Trustees (Board) to continue remote (teleconference/videoconference) board meetings by finding, pursuant to California Government Code Section 54953(e), that there is a proclaimed state of emergency related to COVID-19 and that meeting in person would present imminent risks to the health or safety of attendees.

RECOMMENDED ACTION

Staff respectfully recommends that the Board adopt Resolution 23-02-01 finding that the Board has reconsidered the circumstances of the state of emergency and meeting in person would present imminent risks to the health or safety of attendees.

BACKGROUND

Through the COVID-19 virus pandemic, Gubernatorial executive orders and, later, new legislation (Assembly Bill 361, "AB 361"), the Board has met via modified teleconference procedures in order to protect meeting attendees from the threat of the virus while preserving public access to legislative body meetings.

As modified by AB 361, Government Code section 54953(e) permits local legislative bodies to meet via teleconference if the Governor has proclaimed a state of emergency pursuant to Government Code section 8625 and the legislative body determines by majority vote that, as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees. The determination must be reevaluated at least every 30 days and may be renewed if the Board finds that the state of emergency remains active and the state of emergency continues to directly impact the ability of attendees to meet safely in person.

ANALYSIS

The Governor's Proclamation of State of Emergency related to the COVID-19 virus pandemic remains in effect to this day in Yolo County and statewide. The virus, and its variants, are highly transmissible when in close proximity to an infected person, no matter if the infected person is showing symptoms or not. Further, new variants of varying community impact and transmissibility are revealed each month the pandemic continues, most recently the Omicron/BA.2 subvariant.

Meeting in person imminently risks attendees' health and safety by necessitating attendees – Board officers, staff, and members of the public – be in close proximity to a potentially infected person, no matter if he or she is showing symptoms or not.

The proposed resolution makes requisite findings to allow Board meetings to continue to be held via teleconference pursuant to Government Code section 54953(e). The Board is to make the following findings as part of the resolution:

- The Governor proclaimed a state of emergency on March 4, 2020 related to the COVID-19 virus pandemic and that state of emergency remains active within the jurisdiction of the District.
- The Board has reconsidered the circumstances of the state of emergency.
- The state of emergency continues to directly impact the ability of attendees to safely meet safely in person.
- To decrease the risk to the health and safety of attendees, Board meetings may be conducted via teleconference in accordance with Government Code section 54953(e).

It is recommended that the Board pass the resolution and direct staff to take all actions necessary to effectuate its intent to hold Board meetings in compliance with Section 54953(e).

If the Board does not pass the proposed resolution, the District will be required to meet pursuant to traditional teleconference requirements – e.g., opening teleconference locations to the public, listing addresses on meeting agendas, quorum of members.

Alternatives

The District's primary alternatives are as follows.

1. Adopt Resolution 23-02-01, making the findings required by California Government Code Section 54953(e); or
2. Adopt Resolution 23-02-01, making the findings required by California Government Code Section 54953(e) with directed revisions; or
3. Decline adopt Resolution 23-02-01, making the findings required by California Government Code Section 54953(e).

Staff is prepared to implement Alternative 1. Staff does not recommend any substantive revisions under Alternative 2, as such revisions may not comply with California Government Code Section 54953(e). Staff also does not recommend Alternative 3 as the continued threat of COVID-19 and its variants presents an imminent risk to the health and safety of meeting attendees.

Coordination and Review

This report was prepared in coordination with District counsel.

Budget/Cost Impact

There is no direct budget or cost impact associated with this item.

ATTACHMENT

Resolution 23-02-01

RESOLUTION 23-02-01

A RESOLUTION OF RECLAMATION DISTRICT 900 RATIFYING THE PROCLAMATION OF A STATE OF EMERGENCY BY THE GOVERNOR AS APPLICABLE IN THE DISTRICT AND AUTHORIZING TELECONFERENCE MEETINGS OF LEGISLATIVE BODIES OF THE CITY PURSUANT TO THE RALPH M. BROWN ACT

WHEREAS, Reclamation District 900 ("District") is committed to preserving and nurturing public access and participation at meetings of its Board of Trustees (Board); and

WHEREAS, all meetings of the Board are open and public, as required by the Ralph M. Brown Act, Government Code section 54950 et seq. ("Brown Act"), so that any member of the public may attend, participate, and watch the District conduct its business; and

WHEREAS, Government Code section 54953(e)(1) provides a legislative body may meet via teleconference if the Governor has proclaimed a state of emergency pursuant to Government Code section 8625 and either: (i) state or local officials have imposed or recommended measures to promote social distancing; (ii) the legislative body meets to determine by majority vote that, as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees; or (iii) the legislative body has voted as such and is meeting pursuant to that vote; and

WHEREAS, a legislative body's decision to meet pursuant to Section 54953(e) must be reevaluated and renewed at least every thirty (30) days, or else the body will be required to adopt new initial findings; and

WHEREAS, while a legislative body meets via teleconference pursuant to Section 54953(e), it must take actions to preserve public access and public participation and give notice of the meeting and post agendas as otherwise required, allow members of the public to access the meeting via call-in line or internet-based service line, provide details on the agenda on how to access the meeting and give public comment, give an opportunity to comment pursuant to Government Code section 54954.3 and allow a reasonable amount of time during public comment for a person to register, login, and comment, and monitor the call-in line and internet-based service line to ensure no disruption hinders access or ability to comment, if there is, take no action until public access is restored; and

WHEREAS, on March 4, 2020, Governor Gavin Newsom proclaimed a state of emergency pursuant to Government Code section 8625 pertaining to the threat to human health and safety posed by the COVID-19 virus pandemic and that proclamation remains in effect to this day in Yolo County and statewide; and

WHEREAS, the virus has short- and long-term effects – fever and chills, cough, shortness of breath and difficulty breathing, fatigue, headache, nausea, vomiting, gastrointestinal issues, loss of taste and smell, death – and its prolific spread is severely impacting the health care system, inhibiting access to care for COVID-19 symptoms, and other ailments; and

WHEREAS, while being vaccinated significantly decreases the likelihood of contracting or dying from the virus, vaccinated and unvaccinated people alike can carry, transmit, and be affected by the virus; and

WHEREAS, the COVID-19 virus, and its variants, is spread through the air when a person who is carrying the virus, whether he or she is showing symptoms or not, is in close proximity to another person; and

WHEREAS, while the COVID-19 virus and its variants remain present in the community, meeting in person presents an imminent risk to Board meeting attendee health and safety beyond

the control of District services, personnel, equipment, and facilities due to its transferability through the air; and

WHEREAS, pursuant to Government Code section 8635 et seq., the Board has the authority during a state of emergency to take all actions necessary to perform its functions in the preservation of law and order, preservation of the furnishing of local services, and protection of life and property, which includes the authority to direct meetings of the District to be held via teleconference pursuant to this Resolution; and

WHEREAS, the Board desires to ratify the Governor's March 4, 2020, proclamation of state of emergency related to the COVID-19 virus pandemic as it applies to the jurisdiction of the District and authorize teleconference meetings of the District pursuant to Section 54953(e).

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of Reclamation District 900:

1. The recitals and findings set forth above are true and correct and are incorporated herein by reference as if set forth in full; and
2. The Governor's March 4, 2020 proclamation of state of emergency related to the COVID- 19 virus pandemic applies to the jurisdiction of the District and is ratified by the Board of Trustees; and
3. A state of emergency exists within the jurisdiction of the District related to the COVID-19 virus pandemic and the conditions of that emergency present an imminent risk to the health and safety of attendees at District Board meetings; and
4. In order to decrease the risk to the health and safety of attendees, Board meetings of the District may be conducted via teleconference in accordance with Government Code section 54953(e).
5. This Resolution shall take effect immediately upon its adoption and be effective for thirty (30) days, unless the Board takes action to rescind the Resolution, which may occur before the 30th day following adoption

PASSED AND ADOPTED this 16th day of February 2023, by the following vote:

AYES:


NOES:

ABSENT:

Martha Guerrero, RD 900 President

ATTEST:

Ralph R. Nevis, RD 900 Attorney

MEETING DATE: February 16, 2023		ITEM # 3	
 SUBJECT: CONSIDERATION OF PURCHASE OF A AEBI TERRATRAC TT211 SLOPE MOWER WITH FRONT FLAIL MOWER ATTACHMENT			
INITIATED OR REQUESTED BY: <input type="checkbox"/> Council <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Other		REPORT COORDINATED OR PREPARED BY: Blake Johnson, General Manager	
ATTACHMENT <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Information <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action	

OBJECTIVE

The objective of this report is to obtain the Reclamation District 900 (District) Board of Trustees (Board) approval to purchase a AEBI Terratrak TT211 Slope Mower with front flail mower attachment.

RECOMMENDED ACTION

Staff respectfully recommends that the Board approve this item to purchase a new AEBI Terratrak TT211 Slope Mower with mowing attachment in an amount not to exceed \$210,000.

BACKGROUND

The District mows approximately 10 miles of levee slope along with seepage berms several times a year. The District had two slope mowers along with other equipment to maintain these levees. During the summer of 2022, the District lost one of its slope mowers to a fire.

ANALYSIS

The District sent out a Request for Bids for a new 2022 or newer Levee Slope Mower on January 19, 2023 with a closing date of February 6, 2023. This request for bids was sent to the Sacramento Builders Exchange (which gives access to multiple exchanges throughout California) and advertised on the District’s website.

The District received one bid from Contour Sierra, the west coast AEBI dealer located in Anderson, CA. The bid amount was for \$201,063.33 which included the slope mower, front flail mower attachment, sales tax, delivery, and training.

Alternatives

Staff recommends the Board approve the purchase of this mower and mowing equipment. The District does own additional equipment for maintaining levees but this mower is the primary machine for mowing levees and berms.

Secondary alternative is to not purchase another slope mower. This alternative is not recommended. Without this additional mower, the District may not be able to maintain the grasses on the levees/berm and jeopardize our maintenance agreement with the State of California.

Coordination and Review

This report was prepared in coordination with District counsel.

Budget/Cost Impact

This tractor was not included in the District’s Operation and Maintenance budget. The District would pay for this out of its savings account. The District’s insurance company paid \$13x,xxx for the mower that burned.

ATTACHMENT

- Specifications and Bid sheet
- Photos of AEBI Terratrak TT211 Slope Mower

**Reclamation District 900
Request for Bids**

January 19, 2023

Bids Due: February 6, 2023 10 a.m. Local Time

THE PURCHASE OF ONE (1) NEW 2022 or NEWER LEVEE SLOPE MOWER

Reclamation District 900, West Sacramento, CA hereby publishes a Request for Bids for the purchase of one (1) new 2022 or newer Levee Slope Mower and referring to the Specifications attached to this Notice and on file at Reclamation District 900's office, of which publications shall be at least ten (10) days prior to the time fixed for opening bids.

BIDS will be received at the Reclamation District 900's Office, 889 Drever Street, West Sacramento, CA 95691 (hereinafter the District) or emailed to BJohnson@rd900.org until 10:00 AM local time, Monday, February 6, 2023, at which time and place they will be publicly opened. The envelope/subject line must be marked Vehicle Bid Documents. Bids received after 10 a.m. on Monday, February 6, 2023, will not be opened nor considered. It is the bidder's responsibility to verify with courier if bid package was delivered per the above stated bid opening requirements.

Questions must be received by February 1, 2023 by 10 a.m. local time.

Request for Bid is for the purchase of one (1) New 2022 or Newer Levee Slope Mower

Bidders may obtain the bidding documents including Specifications, the Reclamation District 900's Office, 889 Drever Street, West Sacramento, CA 95691. or at <http://www.RD900.org/public-notices>

The bidder assumes all responsibility for having the bid package delivered on time to the specified address. No bidder may withdraw its bid for a period of thirty (30) days after the date set for the opening of bids. The District reserves the right to reject any or all bids, and to waive any irregularities in the bids, per Public Contract Code Section 22038 (a).

DATE: January 19, 2023

SIGNED: _____



Blake Johnson
General Manager
Reclamation District 900

Published: January 19, 2023

RECLAMATION DISTRICT 900

LEVEE SLOPE MOWER

**Specifications and
Bid Sheet**

The purpose of this specification is to provide one (1) new four-wheel drive implement carrier, with front and rear class 1 (front) & 2 (Rear) 3-point hitch and PTO and selected attachments (front mount flail mower).

The implement carrier shall be able to be used for a wide range of applications including, but not limited to: Flail mower, brush shredder, front mount broom, rotary mower.

BIDDER QUALIFICATIONS. All bidders must be licensed to sell and deliver vehicles in the state of California.

The bidder shall indicate an appropriate response on every line provided. This may be a "yes", indicating complete compliance with this specification, a "no", indicating a complete noncompliance with the specification, or a detailed description of any exception or deviation from the specification. Any omissions or misrepresentations will be justification to reject the entire bid.

CRITERIA FOR EVALUATION AND AWARD. The District evaluates three categories of information: responsiveness, responsibility, and price. All bids, regardless of the type of solicitation, must meet the following responsiveness and responsibility criteria.

- A. Responsiveness. The District will determine whether the bid complies with the instructions for submitting bids including completeness of bid, which encompasses the inclusion of all required attachments and submissions. The District must reject any bids that are submitted late. Failure to meet other requirements may result in rejection.
- B. Responsibility. The District will determine whether the bidder is one with whom it can or should do business. Factors that the District may evaluate to determine "responsibility" include, but are not limited to: excessively high or low priced bid, past performance, references (including those found outside the bid), compliance with applicable laws-including tax laws, bidders record of performance and integrity, has the bidder been delinquent or unfaithful to any contract with the District, whether the bidder is qualified legally to contract with the District, financial stability in the perceived ability to perform completely as specified. A Bidder must always have financial resources sufficient, in the opinion of the District, to ensure performance of the contract and must provide proof upon request. The District reserves the right to inspect and review Bidder's facilities, equipment, personnel, and those of any identified subcontractors. The District will determine whether any failure to supply information, or the quality of the information, will result in a rejection.
- C. Price. The District will then evaluate the bids that have met the requirements above.

Dealer Name Contour Sierra Aebi Initials SR
Steve Rankin

WARRANTY. The vehicle purchased to these specifications shall include all standard manufacture warranties.

MANUALS. One (1) factory service manual CD covering all powertrain, drivetrain, powertrain control, emissions diagnosis, body, chassis, electrical components and wiring diagram of the vehicles purchased shall be included at the time of delivery.

If the CD manual is not available when the vehicle is delivered, a due bill must be included with the invoice.

ENGINE:

yes 70+ horsepower at rated engine RPM, 4 cylinder, 4 stroke, water cooled, Turbo charged diesel engine. Tier 4 emissions

yes Engine intake pre cleaner, with changeable dry type air cleaner cartridge.

yes Single stage fuel filter system with drain valve.

yes Horizontal discharge muffler

yes Tip up radiator chafe collection hood.

yes Infinitely variable hydrostatic drive, which can be changed under load, with automotive type control.

TRANSMISSION/ DRIVE:

yes Multi-function drive lever for both forward and reverse drive and speed range.

yes Hi/lo speed range, 25 mph in high and 7.5 mph in low. Infinitely variable.

yes Four-wheel drive. Electro hydraulically shiftable (under load) front axle

Dealer Name Contour Sierra Aebi

Initials SR

yes Differentials front and rear axles, with "on the fly" locks.

yes Independent PTO shaft operation, single dry plate clutch, front and rear.

yes Front PTO, 570 RPM max. Clockwise rotation, 1-3/8/ 6 spline, engageable under load.

yes Rear PTO, 590 RPM max, Clockwise rotation, 1-3/8/ 6 spline engageable under load.

yes Front universal joint PTO drive shaft, complete with free wheel and protection.

yes Four-wheel steering (hydrostatic) 14 foot turning radius

STEERING

yes Independent steering axles, (no center articulation)

yes Front wheel, rear wheel, four wheel and crab steer modes, engaged electro hydraulically.

AUXILIARY HYDRAULICS AND 3 POINT CARRIERS

yes Hydraulic implement weight transfer, infinitely adjustable (front)

yes Separate front and rear gauges and controls.

yes Rear 3-point category 1 & 2 hitch.

yes Front 3-point hitch, specialized category 1

yes 2000 lbs. Capacity (rear)

yes 2000 lbs. Capacity (front)

yes Raise, lower, carry, float and weight transfer selectable functions.

yes Lateral stabilizing screws (rear) and top link.

yes Independent lifting arms with 4 inch range of crank adjustment (rear).

yes Hydraulic activated side shift, front lift frame, 15 inches of travel.

Dealer Name Contour Sierra Aebi

Initials SR

GENERAL:

yes Noise suppression all round view rubber suspension pressurized cab with tinted glass.

yes Flick open rear window.

yes Removable door.

yes High efficient heater/defroster with filter.

yes Air conditioning with dust and particle filter.

yes OECD approved roll guard.

yes Wipomatic self-leveling seat with safety belt.

yes Illuminated instrument dashboard.

yes Hour meter.

yes Fuel gauge.

yes Water temperature gauge.

yes Warning lights.

yes Glow plugs.

yes Front windshield wiper/washer.

yes High/low beam headlights with removable mirrors.

yes Operators horn.

yes Tail/brake lights.

yes Turn signals.

yes Hand throttle.

yes Floor accelerator pedal.

Dealer Name Contour Sierra Aebi

Initials SR

yes Four-wheel brakes, hydraulic servo-foot pedal.

yes Mechanical park brake.

yes Keyed ignition and engine shut off.

yes Locking operator's cab.

yes 12-volt 100-amp alternator.

yes 100AH high-capacity battery.

yes Auxiliary hydraulics- 9.5 GPM.

yes Electronic solenoid hydraulic control valves.

yes Four quick hydraulic connectors (two circuits) at front and rear hitches for double acting cylinders.

yes Four 31x15.5x15 Terra tires. Four dual tires, 6.50 x 16

Dealer Name Contour Steeva Aebi

Initials SR

PRICING

All standard features, all options listed in these specifications, all discounts, all delivery and destination charges, sales tax and all other applicable fees and taxes shall be included in bid price. Levee slope mower and attachments shall be delivered to: Reclamation District 900, 5000 Jefferson Blvd., West Sacramento, CA 95691.

BASE PRICE:

\$ 170,500.00 Levee Slope Mower

IMPLEMENTS:

\$ 13,769.00 Seppi SMWA Rev CF 225 cm, 89-inch front mount flail mower or equivalent

TOTAL COST (BASE PRICE + IMPLEMENTS):


\$ 201,063.33 - includes sales tax @ 8.3%
- includes delivery + Training

Vendor's name and phone number: Contour Sierra Aebi
530 448 9188

Company representative's name: Steve Rankin

Payment terms (not less than net 30 days): 30 days

I certify that this quote meets all specifications provided for this vehicle by Reclamation District 900. I have read and initialed each page of the bid specification.


Authorized Signature

1-23-2023
Date

Dealer Name Contour Sierra Aebi


Initials SR

AEBI

Terratrac TT211

Extremely Agile, Made for Steep Slopes



MEETING DATE: February 16, 2023		ITEM # 6	
 SUBJECT: CONSIDERATION OF ENCROACHMENT PERMIT – ASTOUND BUSINESS SOLUTIONS POWERED BY WAVE			
INITIATED OR REQUESTED BY: <input type="checkbox"/> Council <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Other		REPORT COORDINATED OR PREPARED BY: Blake Johnson, General Manager	
ATTACHMENT <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Information <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action	

OBJECTIVE

The objective of this report is to obtain the Reclamation District 900 (District) Board of Trustees (Board) approval for an encroachment permit for Astound Business Solutions Powered by Wave (Astound).

RECOMMENDED ACTION

Staff respectfully recommends that the Board approve this encroachment permit.

BACKGROUND

Astound will be providing better communication services to commercial businesses along Southport Parkway with the construction of new fiber optic cable.

The encroachment permit is the District's standard form and provides protection to the District from liability and requires the permittee to have \$2 million insurance and is indemnifying the District against loss.

ANALYSIS

Astound will be constructing new fiber optic cable under the District's canal north of Southport Parkway. Astound will directionally bore to place conduit for the fiber optic cable. The fiber optic cable will then be pulled through the conduit. A bore pit will be located approximately 250 feet from the canal. This bore pit is where Astound begins the project. A directional drill is set up in the bore pit that drills through the earth at an angle so that by the time the drill gets to the District's canal, the conduit will be 25 feet below the bottom of the canal. This will help prevent the canal from collapsing. Once the drilling has passed the canal, the drill will then be directed towards the surface, located approximately 200 feet beyond the canal.

The work performed by Astound will not interfere with the District's operation and maintenance.

Alternatives

Staff recommends the Board approve this encroachment permit to allow Astound to place fiber optic cable.

Secondary alternative is to reject this encroachment. This alternative is not recommended. This would require Astound to re-evaluate their routes and delay construction to provide much needed communication services to Southport commercial businesses.

Coordination and Review

This report was prepared in coordination with District counsel.

Budget/Cost Impact

There is no cost to the District.

ATTACHMENT

- Permit Application 2023-01
- Encroachment Permit & Traffic Control Plan Set by Astound

APPLICATION

Name of Applicant: Astound Business Solutions Powered By Wave
Mailing Address: 4121 Citrus Ave, Rocklin CA 95677
Phone Number: 916-297-3257
Email: alex.slabosnitskiy@astound.com

Application is hereby made to the Trustees of Reclamation District 900 for permission to encroach on the District easement as follows: (Describe the work to be done, attach plans and drawings as necessary)

Astound/Wave to directional bore withing existing 12.5' Public Service Easement
(located on W/S of Ramos Dr) under RD 900 drainage canal at 25' min clearance depth
from the bottom of the drainage canal. Astound/Wave will install two 2" HDPE conduits
and pull fiber optic cable line inside the two proposed coduits in order to provide
much needed communication services for the commercial customers in that developing area.

The easement referred to above is located as follows: N/W Side of Ramos Dr & Southport Pkwy

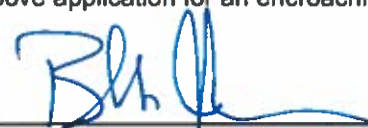
Nearest cross streets Ramos Dr and Southport Pkwy

We anticipate the work to start on or about 03/01/2023 (date)

Respectfully submitted,
Alex Slabosnitskiy
4120 CITRUS AVE, ROCKLIN CA 95677
(address)

Date: 01/31/2023

To the Reclamation District 900 Board of Trustees, the above application for an encroachment permit is referred to you for consideration,


General Manager, Reclamation District 900

Date: 2/16/23

PERMIT # 2023-01

To: ASTOUND BUSINESS SOLUTIONS BY WAVE

Permission is hereby granted to encroach upon an easement or right of way of Reclamation District 900, herein called District, in the following manner:

This permit is granted upon the following conditions which, by acceptance of this permit, permittee agrees to perform:

1. This permit shall be cancelled and void unless the work contemplated hereunder is initiated within 30 DAYS from the date of issuance and diligently prosecuted to completion.
2. Written Notice will be given to the District at least three (3) days prior to commencement of the work above described. Notice shall be sent to BJohnson@rd900.org.
3. The permittee shall indicate his acceptance of this permit and the terms and conditions thereof, by executing the form of acceptance on one copy of this permit and returning it to the District.
4. The permittee shall fully comply with each and every recommendation and requirement set forth herein as well as in the report from the District's Engineer regarding the encroachment above described.
5. This permit does not grant a right to use or construct works on land owned by others.
6. This permit does not establish any precedent with respect to any other application received by the District.
7. To the fullest extent permitted by law, permittee shall indemnify, hold and save the District harmless of and from any liability which may be incurred through injury to person or damage to property arising out of or connected with the construction or installation of the encroachment above described, and from any such liability arising out of or in connected with the maintenance and operation of such encroachment, except where responsibility for maintenance thereof is accepted by the District in writing.
8. If the encroachment above described constitutes the replacement of an open ditch or canal of the District with a covered pipe or conduit, then the pipe or conduit so installed (shall) (shall not) become the property of the District.
9. The project site shall be restored to the condition that existed prior to commencement of work, except for such improvements as are approved in this permit.
10. Permittee shall acquire no easement or property right in or to the property or right of way of the District by virtue of this permit and the District does not hereby relinquish any right or title therein.
11. Except as herein otherwise provided, all cost of maintenance, repair and replacement of the encroachment above described shall be borne by permittee. Permittee shall, whenever instructed by the District to do so, repair, replace or relocate such encroachment in the manner prescribed by the District whenever the District shall determine that such repair, replacement or relocation is required in the interest of the District. Any such repair, replacement or relocation ordered by the District that is: (a) not completed by the permittee within thirty (30) days after written notice has been given by the District of such required repair, replacement or relocation; or (b) in the case of repair, replacement, or relocation that cannot be completed within thirty (30) days despite permittee's diligent efforts, is not initiated within thirty (30) days

PERMIT # 2023-01

of the written notice and then diligently brought to completion by permittee without unnecessary delay, may be performed by the District, at permittee's expense and permittee shall promptly reimburse the District for such repair, replacement or relocation.

12. If the permitted encroachment causes physical damage to the District's facilities, real property, or improvements, or otherwise interferes with the District's ongoing maintenance and operation of its reclamation facilities, the permittee shall, whenever instructed by the District to do so, repair, replace or rectify in the manner prescribed by the District such damage or interference at the permittee's sole expense. Any such repair, replacement or other work ordered by the District that is: (a) not completed by the permittee within thirty (30) days after written notice has been given by the District of such required repair, replacement or other work; or (b) in the case of repair, replacement, or other work that cannot be completed within thirty (30) days despite permittee's diligent efforts, is not initiated within thirty (30) days of written notice and then diligently brought to completion by permittee without unnecessary delay, may be performed by the District, at permittee's expense and permittee shall promptly reimburse the District for such repair, replacement or other work.

13. Permittee shall, promptly on the expiration or other termination of this permit, cause to be removed the encumbrance or encroachment above described and shall return the property of the District to the condition existing prior to the issuance of the permit.

14. The District reserves the right of access to the portion of its easement and right of way above described for such maintenance, repairs or alterations of the District facilities or of the facilities described above as may be required for reclamation purposes. The District shall not be responsible for any damage done to surface improvements of permittee whether herein permitted or otherwise where necessary as part of the ordinary and necessary access to or exercise of its easement and right of way for reclamation purposes and need not replace any paving, concrete or other improvement required to be removed or disturbed in the process of such maintenance, repair or alteration. Permittee shall reimburse the District for any increased cost of such access occasioned by the improvements of permittee described herein.

15. Permittee may make no alteration or improvement of any portion of the District's easement and right of way not specifically herein permitted nor alter or remove any portion of the encroachment or improvement herein described without further permit from the District.

16. Permittee shall obtain and maintain in force throughout the period of construction a comprehensive general liability policy in a combined single limit of not less than \$ 2,000,000.00 covering construction activities undertaken by or for Permittee hereunder and shall name Reclamation District 900 as an additional insured.

17. This permit is revocable in whole or part by the District on thirty (30) days written notice to permittee when such revocation is determined by the Board of Trustees to be necessary for District purposes.

18. Upon failure of permittee to conform to any of the covenants and conditions herein specified this permit shall, at the option of the District, cease and terminate and the District may remove encroachment or improvement above described together with any appurtenances thereto located with the easement and right of way of the District and permittee shall promptly pay to the District all costs and expenses incurred in such removal.

19. If the project or any portion thereof, is to be abandoned in the future, the permittee or successor shall abandon the project under direction of the District, at the permittee's or successor's cost and expense.

20. Upon completion of the project, the permittee shall submit as-built plans to: Reclamation District 900, 889 Drever Street, West Sacramento CA, 95691, or such other address as the District shall designate in writing to the permittee.



PERMIT # 2023-01

21. See attached Special conditions if box checked.

Dated: _____, 20____

Reclamation District 900

By:

ACCEPTANCE

Permittee hereby accepts the above permit and agrees to comply with all of the requirements thereof.

Dated: January 31, 2023

Alex Slabosnitskiy



Project Name:

300755826

Project Address:

3640 Ramos Dr, West Sacramento 95691
Encroachment Permit & Traffic Control Plan Set



Know what's below.
Call before you dig.
CALL UNDERGROUND SERVICE ALERT
811/1-800-227-2600

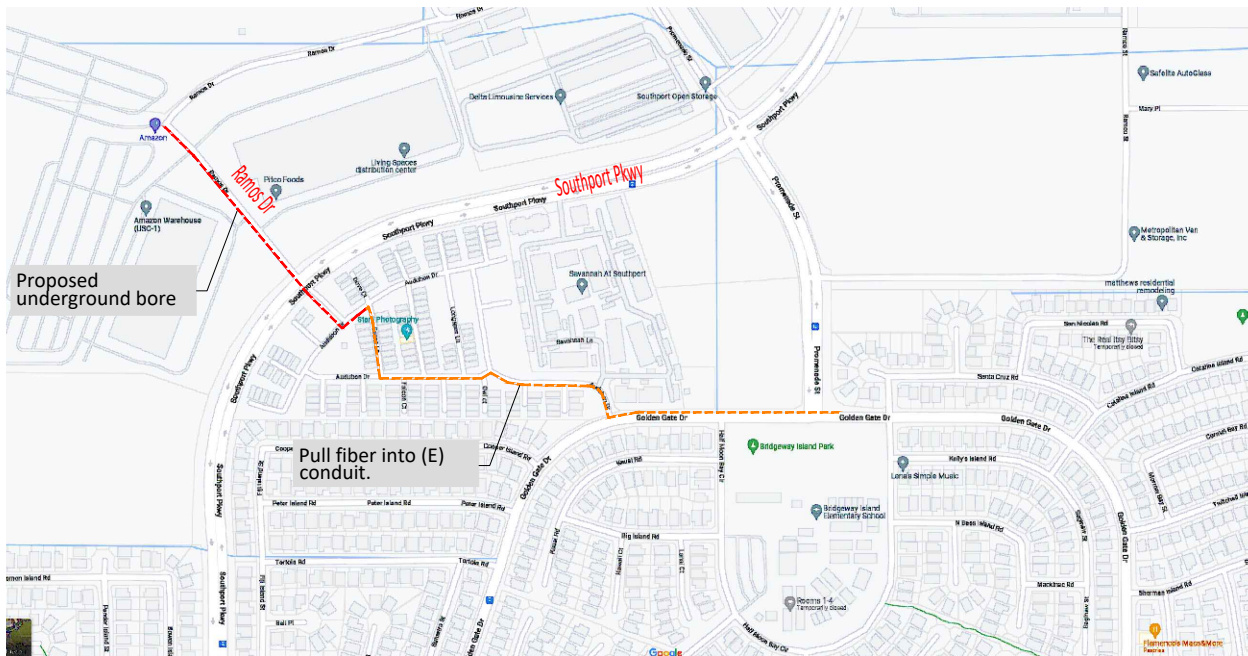
Field Contact Information:

Name: Joseph Thomas
Tel: 916-216-2810

Table of Contents

Sheet No: 1,- Cover Sheet
Sheet No: 2,- Detail Sheet
Sheet No: 3-5,-Construction Notes
Sheet No: 5-End,- Plan Sheets

Vicinity Map:



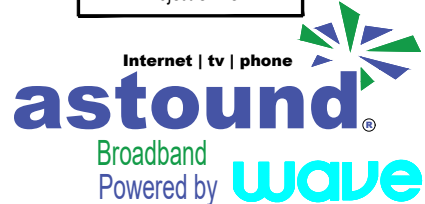
GPS:

LAT: 38°32'38.63"N
LONG: 121°34'30.87"W



AGENCY APPROVAL BOX:

Project Owner:



4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

Project Material List

ITEM	SIZE	QUANTITY
DIRECTIONAL BORE	1	1250'
OPEN TRENCH	2	10'
VAULTS -1	2'x3'	3
VAULTS -2	5'x3'	2
2" H.D.P.E CND	(2) 2"	1300'
1.25" H.D.P.E CND		
WYE-CAST	1	1
FIBER OPTIC CABLE	288	5300'
C.A.T.V. CABLE		
PEDESTALS		
CABINETS		
UTILITY POLES	CL-	

Scope Of Work:

Bore and trench in order to install two 2" HDPE conduits.
Set multiple new vaults. Pothole in street and sidewalk in order to locate existing UG facilities.
Pull fiber optic cable line into (N & E) conduit. Splice fiber optics. Restore AC per local specifications.

Revision:

Date:	Description:	Initial:

Engineer:



Department: Fiber Design & Construction
Name: Alex Slabosnitskiy
Tel: 916 297-3257
Email: alex.slabosnitskiy@astound.com

Sheet No:

1

Date:

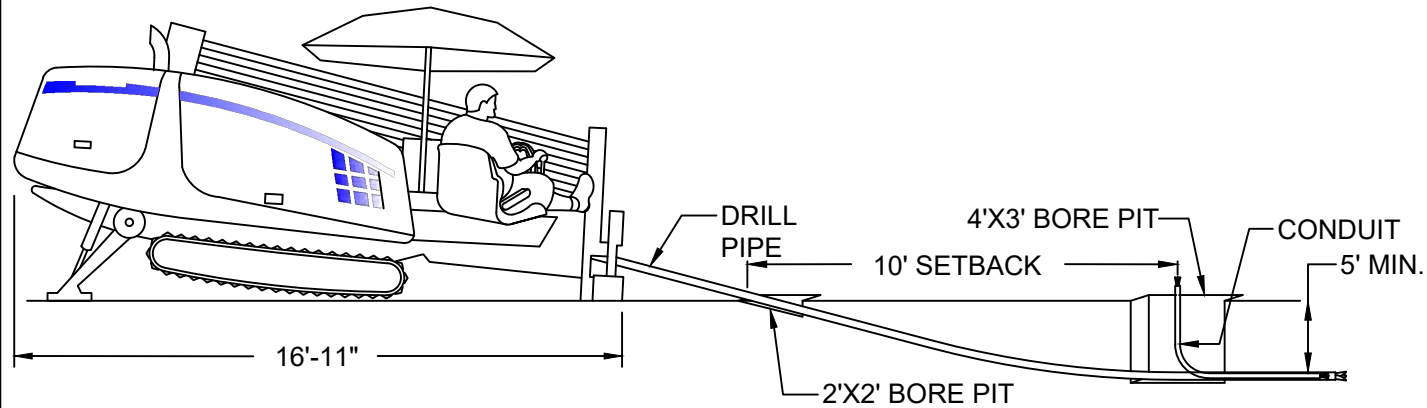
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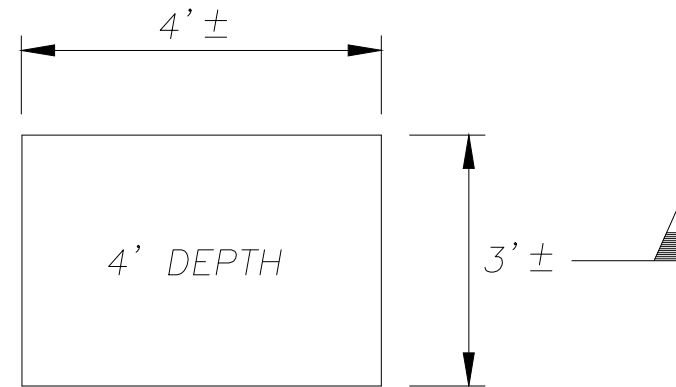
N.T.S.

TYPICAL BORE RIG SETUP DETAIL:A

LONGITUDINAL HDD METHOD
N.T.S.

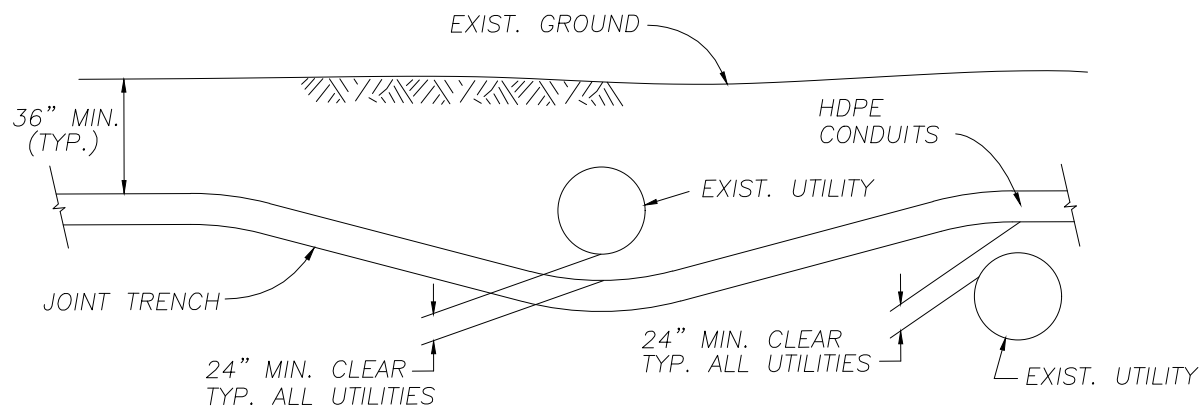


TYPICAL BORE PIT DETAIL:B



TYPICAL UTILITY CROSSING DETAIL:C

N.T.S.

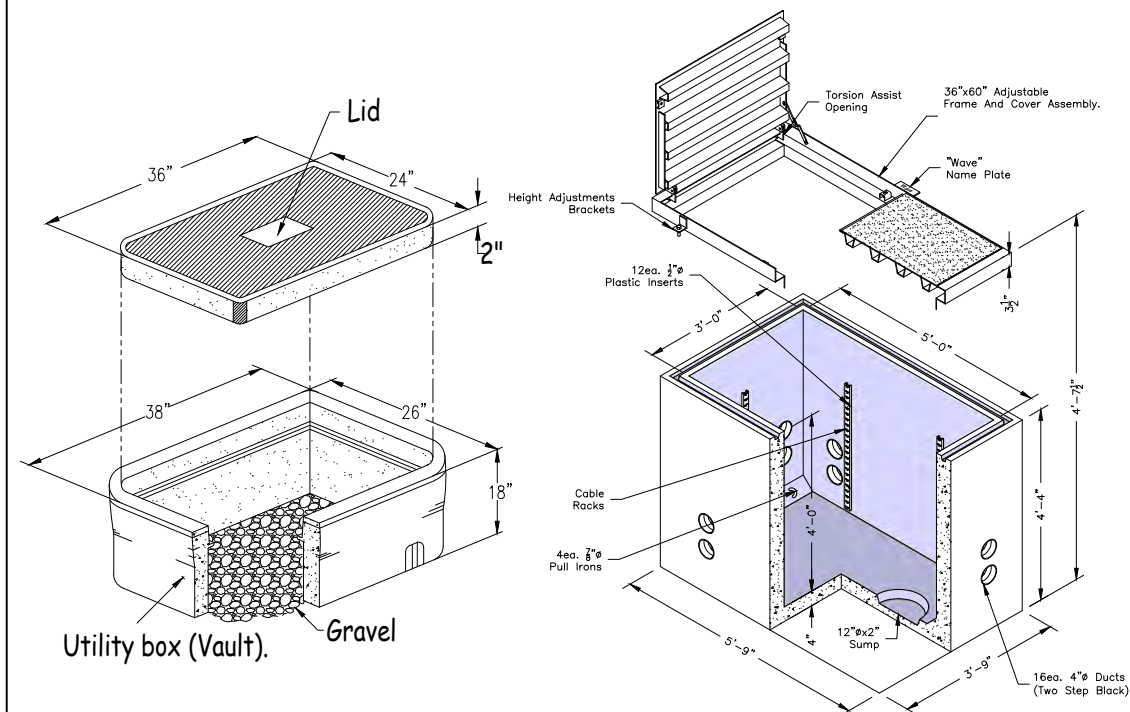


VAULT DETAIL:E

N.T.S.

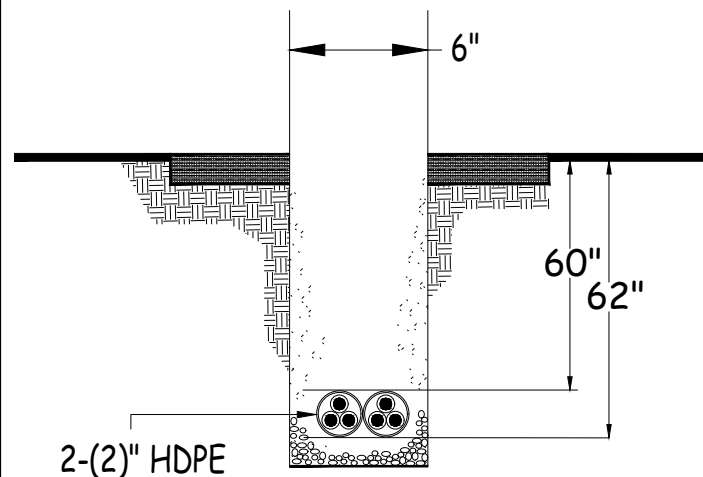
24"X36" VAULT DETAIL:

36"X60" VAULT DETAIL:



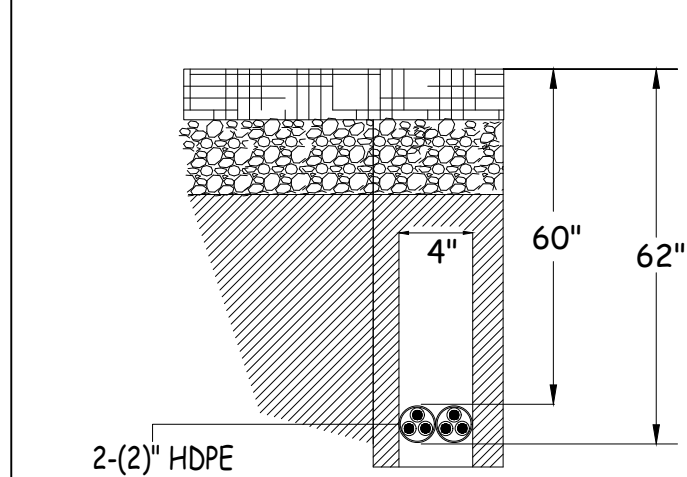
TRENCH DETAIL:F

N.T.S.



DIRECTIONAL BORE DETAIL:G

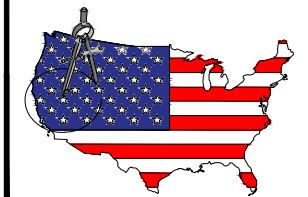
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Revision No:

Notes:

EXCEPT AS MAY BE OTHERWISE PROVIDED BY CONTRACT, THESE DRAWINGS SHALL REMAIN THE PROPERTY OF ASTOUND BROADBAND, BOTH BEING ISSUED IN STRICT CONFIDENCE AND SHALL NOT BE REPRODUCED, COPIED, OR USED FOR ANY PURPOSE WITHOUT SPECIFIC WRITTEN PERMISSION.



Project Owner:



4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

Field Contact:

Joseph Thomas
916-216-2810

Designed By:

Alex Slabosnitskiy
Astound Business Solutions
(916)-297-3257

Project#:

300755826

Project Name & Address

3640 Ramos Dr
West Sacramento 95691

Sheet

2

Date: 01/27/2023

Scale: N.T.S.

CITY OF WEST SACRAMENTO

CONSTRUCTION NOTES:

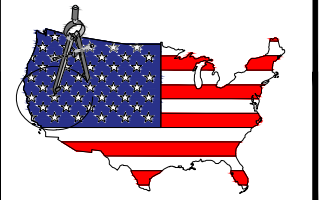
All work within City right-of-ways and easements shall conform to City Standard Specifications and Details. Contact Underground Service Alert (USA) 48 hours in advance of construction at 1-800-227-2600 for location of buried utilities and before any digging, trenching, boring, grading, excavating, etc. Contractor shall notify Engineer of record and City Engineering Inspector immediately of any conflicts or discrepancies between the plans and actual site conditions prior to doing any street work. No field changes shall be made without written authorizations from the Engineer of record and the City of West Sacramento. The City Engineering and Public Works Departments shall be notified a minimum of one working day prior to potholing within any City right-of-way. The City Engineering Inspector shall be kept informed of the daily work schedule in writing. The contractor shall notify the adjacent property owners in writing a minimum of 72 hours in advance of construction at the work site. Driveway closures shall be coordinated with the City Inspector and the property owner(s). Such closures shall require minimum 72 hours advance notice in writing, and approval of the City Inspector. All traffic control shall conform to Cal Trans' Standard Handbook of Traffic Controls, latest edition. All traffic control devices shall be in place before work is started. Devices no longer required shall be removed as soon as possible. Use of trench plates shall be minimized. Maximum duration of trench plates in any one location shall be 10 days except as pre-approved in writing by the City of West Sacramento. Trench plates shall be sized according to depth and width of trench. Pedestrian traffic shall be maintained at all times. No equipment or materials shall be stored on the sidewalk at any time. Excavated material shall be stored away from the paved roadway whenever possible. Storage of equipment, materials and/or portable toilet facilities on private property shall be accompanied by written permission of the private property owner. All spilled material shall be removed immediately to avoid slippery or otherwise hazardous circumstances. No equipment or materials shall be stored on the road/ sidewalk surface during non-working hours unless allowed by the City Engineer in writing. Conduit and ducts shall be installed with a minimum cover of five (5) feet to minimize conflicts with existing/future City utilities. Any exceptions shall be a case-by-case basis with written approval from the City Engineer. Any conduits or ducts rejected or damaged during boring or trenching operations shall be removed and/ or replaced prior to re-bore or re-trench. Minimum vertical separation of 24" shall be maintained between crossings of new conduits and existing utilities. Minimum horizontal separations of three (3) feet between new conduit and existing water and power utilities that run parallel and five (5) feet between new conduit and existing sanitary sewer and storm drain utilities that run parallel shall be maintained. Such minimum separations shall be maintained unless otherwise pre-approved in writing by the City. All contractors and subcontractors shall adhere to all applicable worker safety requirements, and construction site safety requirements at all times. The contractor shall submit a detailed plan showing the design of shoring, bracing, sloping, or other provisions to be made for worker protection for all areas to be excavated to a depth of five feet or more before beginning work. If the plan varies from the shoring system standards, the plans shall be prepared and stamped by a registered civil or structural engineer. Locations of splice boxes shown on the plans are approximate. Final locations of splice boxes shall be determined in the field with City approval after all existing utilities in the area of work have been located. Tops of splice boxes shall be set for future sidewalk installation in specified locations. All future splice boxes shall be placed with pedestrian traffic safety in mind until work is completed. Transitions in pedestrian areas shall be 30:1. Splice boxes placed in specified locations of future roadway pavement shall be traffic rated. Existing signs, striping, guardrails, markers, trees, shrubs, fences, walks, steps, etc. that are disturbed by this construction shall be replaced and restored to their original condition or better, to the satisfaction of the adjacent property owner(s) and E:/1Eng/1Engform/Development/Telecom/TrenchBoreGenNotes

the City of West Sacramento. Repaired/replaced landscaping, shrubs, sod, etc. shall be maintained by the contractor until sufficient growth is established to the satisfaction of said property owner(s) and the City of West Sacramento. No cutting any part of City trees, including roots, shall be done without approval from the City Parks and Community Services Director, under the direct supervision of a certified arborist. No open trenching shall occur within the drip line of any existing trees without the approval of a certified arborist. Open trenching in the root zone of a public tree is prohibited except in cases where the trenching falls outside of the drip line of the tree involved. Exceptions will be considered by the City if, in the opinion of the arborist, the impact of trenching upon the tree will be negligible. Contractor shall be responsible for hiring and paying for a certified arborist. A lead person or foreman shall be assigned to each worksite. Contractor shall maintain a current list of contact names and phone numbers for all project owners, contractors and subcontractors, foremen, etc. Such list shall be provided to the City Inspector prior to project commencement, and updated as necessary during project construction. Contractor shall notify City Inspector a minimum of 48 hours prior to any work occurring near or around any buried traffic signal loops. Signal loops cut or damaged shall be replaced by the contractor per City Specifications at no cost to the City. The contractor shall locate all traffic signal circuits and interconnect conduits prior to any trenching or boring. The contractor shall also maintain a minimum of five (5) feet of separation between new conduits and all traffic signal and interconnect conduits, controllers, and pull boxes. All traffic signal and interconnect conduits shall be maintained and protected during all contractor work. The contractor shall replace all traffic striping, pavement markings and legends damaged during the course of construction with thermoplastic materials per City Standard Specifications to the City Inspector's satisfaction. The City Inspector may require TV inspection of sewer mains and laterals upon suspected damage of such lines due to directional boring at the Inspector's discretion. Any such TV inspection shall be completed and evaluated prior to permit final. Any damage shall be repaired by the contractor at no cost to the City prior to permit final. The City will require a set of Record Drawings including all pothole data, and a digital copy of the Record Drawings after completion of all work and in consideration of permit final.



Revision No:

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Project Owner:

Internet | tv | phone
astound
Broadband
Powered by wave
4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

Field Contact:

Joseph Thomas
916-216-2810

Designed By:

Alex Slabosnitskiy
Astound Business Solutions
(916)-297-3257

Project#:

300755826

Project Name & Address

3640 Ramos Dr
West Sacramento 95691

Sheet

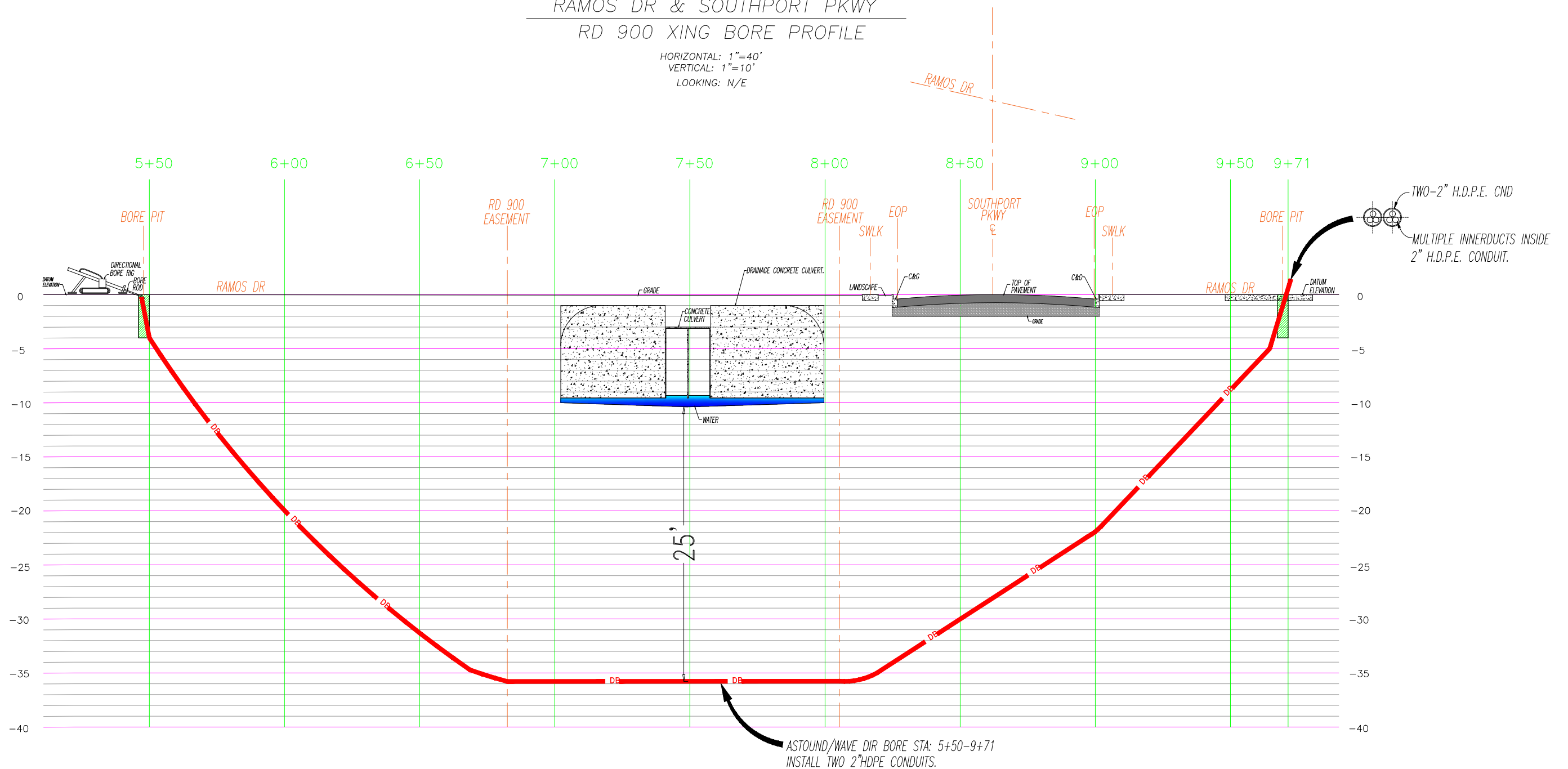
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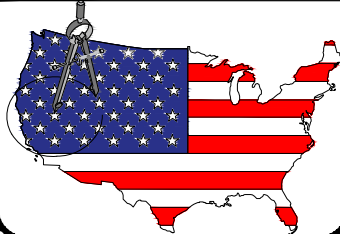
STA: 5+50 TO 9+71
 RAMOS DR & SOUTHPORT PKWY
 RD 900 XING BORE PROFILE

HORIZONTAL: 1"=40'
 VERTICAL: 1"=10'
 LOOKING: N/E



Specific Notes:

Building California:



Know what's below.
 Call before you dig.
 CALL UNDERGROUND SERVICE ALERT
 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.
 811/1-800-227-2600

Legend:

- INSTALL NEW FIBER INTO EXISTING CONDUIT.
- DIRECTIONAL BORE
- OPEN TRENCH
- INSTALL AERIAL STRAND & CABLE
- ⊗ -UTILITY POLE (5) -UTILITY POLE NUMBER
- -VAULTS → -INSTALL POLE ANCHOR
- ⬮ -HWY NAME
- EXISTING FIBER OPTIC
- ELECTRIC
- JOINT TRENCH
- SANITARY SEWER
- STORM DRAIN
- TELEPHONE
- WATER
- COMMUNICATIONS
- BORE PIT
- -MANHOLE
- ⊕ -FIRE HYDRANT

Project Owner:

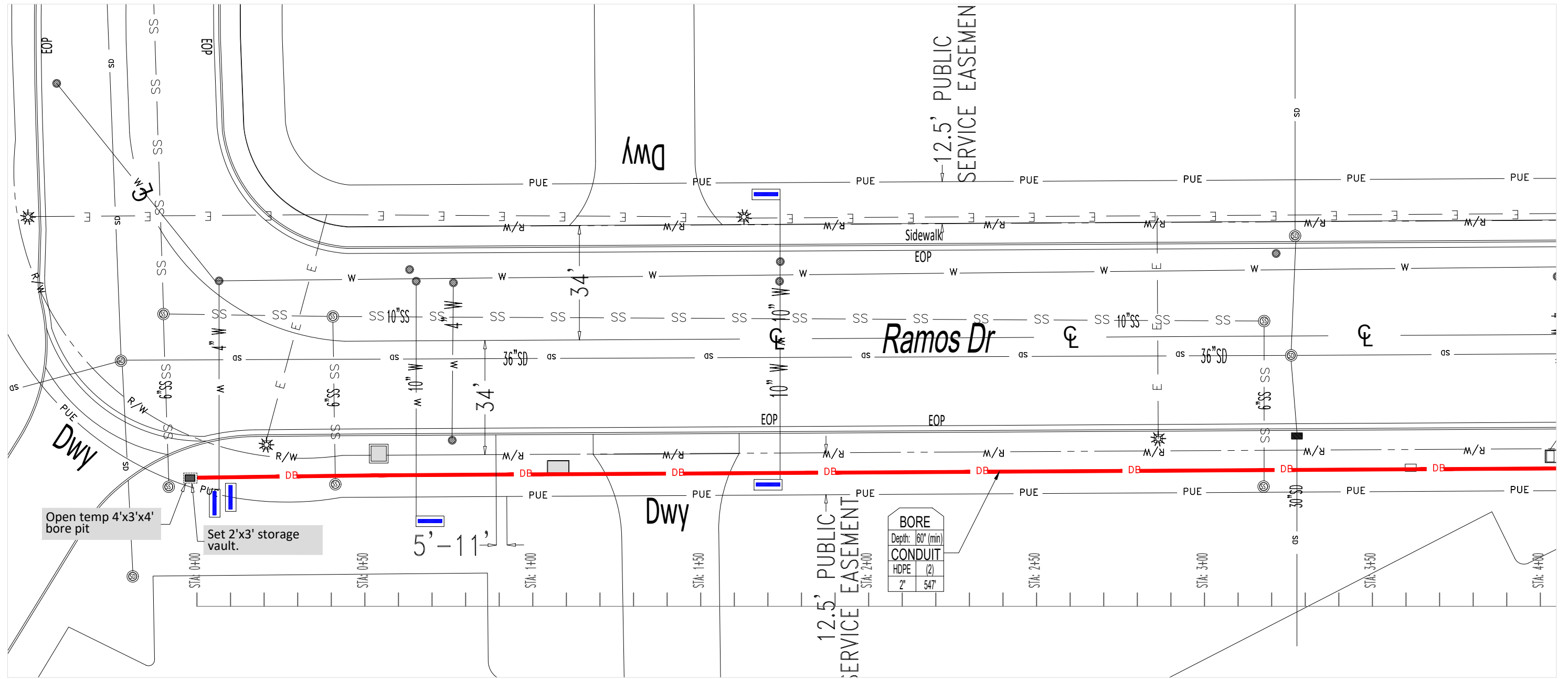


4121 Citrus Ave,
 Rocklin, CA 95677
 Tel: (916) 297-3257

REVISION NO:	DATE:
WORK HOURS: MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.	
PROJECT: 3640 Ramos Dr	
SCALE: 1"=30'-0"	PHASE: W Sacramento
JOB#: 300755826	DATE: 01/27/2023
SYSTEM: West Sacramento 95691	
Designed By: Alex Slabosnitskiy 916-297-3257	
SHEET #: 4	DRAWING #: 1 of 1

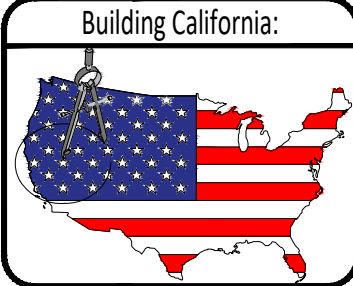


Phase: 1. Underground Directional Bore.



MATCH TO DRAWING 2 OF 3

Specific Notes:



811
Know what's below.
Call before you dig.
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811/1-800-227-2600

Legend:

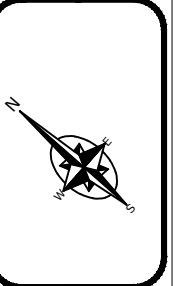
	-INSTALL NEW FIBER INTO EXISTING CONDUIT.		-INSTALL AERIAL STRAND & CABLE		-Existing Fiber Optic
	-DIRECTIONAL BORE		-OPEN TRENCH		-ELECTRIC
	-INSTALL AERIAL STRAND & CABLE		-INSTALL AERIAL STRAND & CABLE		-JOINT TRENCH
	-UTILITY POLE		-SANITARY SEWER		-STORM DRAIN
	-UTILITY POLE NUMBER		-TELEPHONE		-WATER
	-VAULTS		-WATER		-COMMUNICATIONS
	-HWY NAME		-INSTALL POLE ANCHOR		-BORE PIT
	-CALL OUTS.		-BORE PIT		-MANHOLE
			-FIRE HYDRANT		

Project Owner:
astound
Broadband
Powered by wave
4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

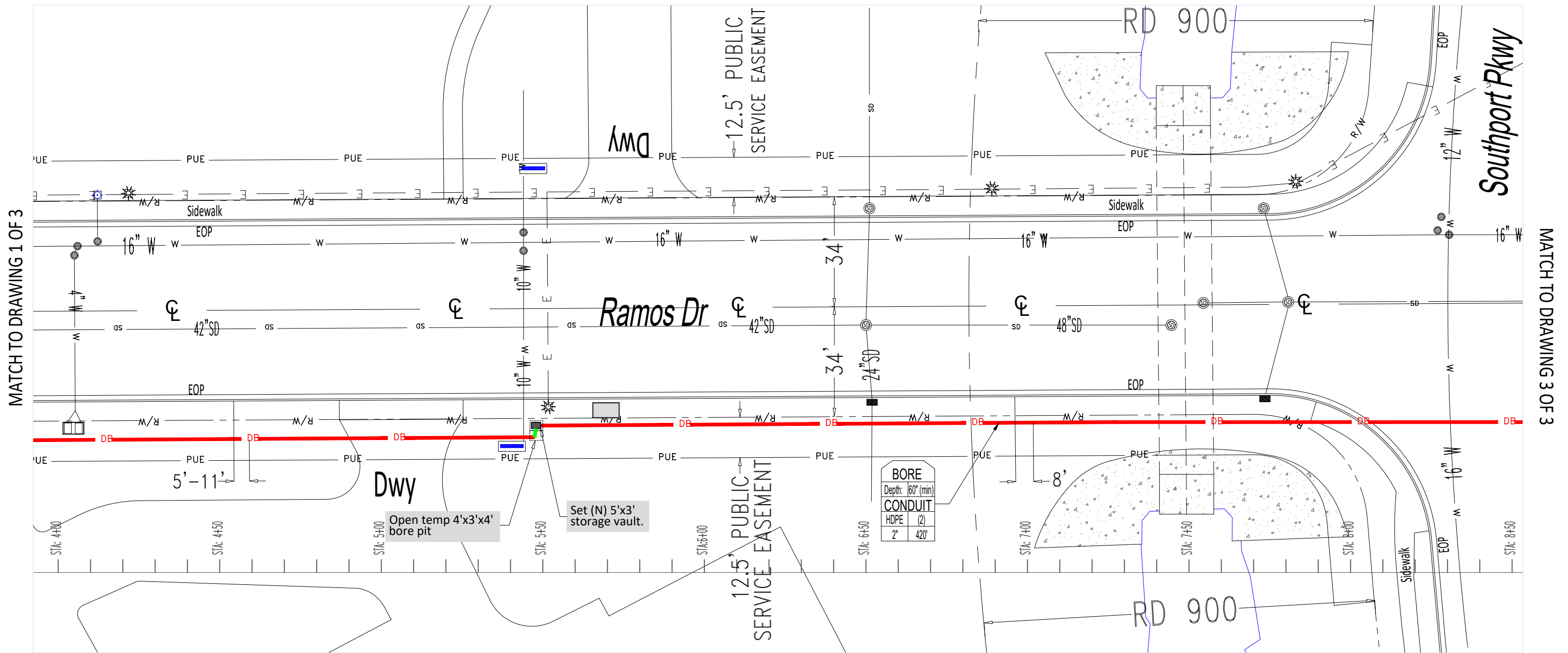
REVISION NO:	DATE:
WORK HOURS: MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.	

PROJECT:
3640 Ramos Dr
SCALE: 1"=30'-0"
JOB#: 300755826
SYSTEM: West Sacramento 95691
SHEET #: 5

PHASE: W.Sacramento
DATE: 01/27/2023
Designed By: Alex Slabosnitkiy 916-297-3257
DRAWING #: 1 of 3



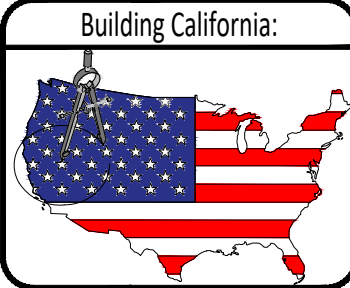
Phase: 1. Underground Directional Bore.



MATCH TO DRAWING 1 OF 3

MATCH TO DRAWING 3 OF 3

Specific Notes:



811
Know what's below.
Call before you dig.
CALL UNDERGROUND SERVICE ALERT
AT LEAST TWO WORKING DAYS BEFORE YOU DIG.
811/1-800-227-2600

Legend:

-INSTALL NEW FIBER INTO EXISTING CONDUIT.	-ELECTRIC
-DIRECTIONAL BORE	-JOINT TRENCH
-OPEN TRENCH	-SANITARY SEWER
-INSTALL AERIAL STRAND & CABLE	-STORM DRAIN
-UTILITY POLE	-TELEPHONE
-UTILITY POLE NUMBER	-WATER
-VAULTS	-COMMUNICATIONS
-HWY NAME	-BORE PIT
-INSTALL POLE ANCHOR	-MANHOLE
-CALL OUTS.	-FIRE HYDRANT

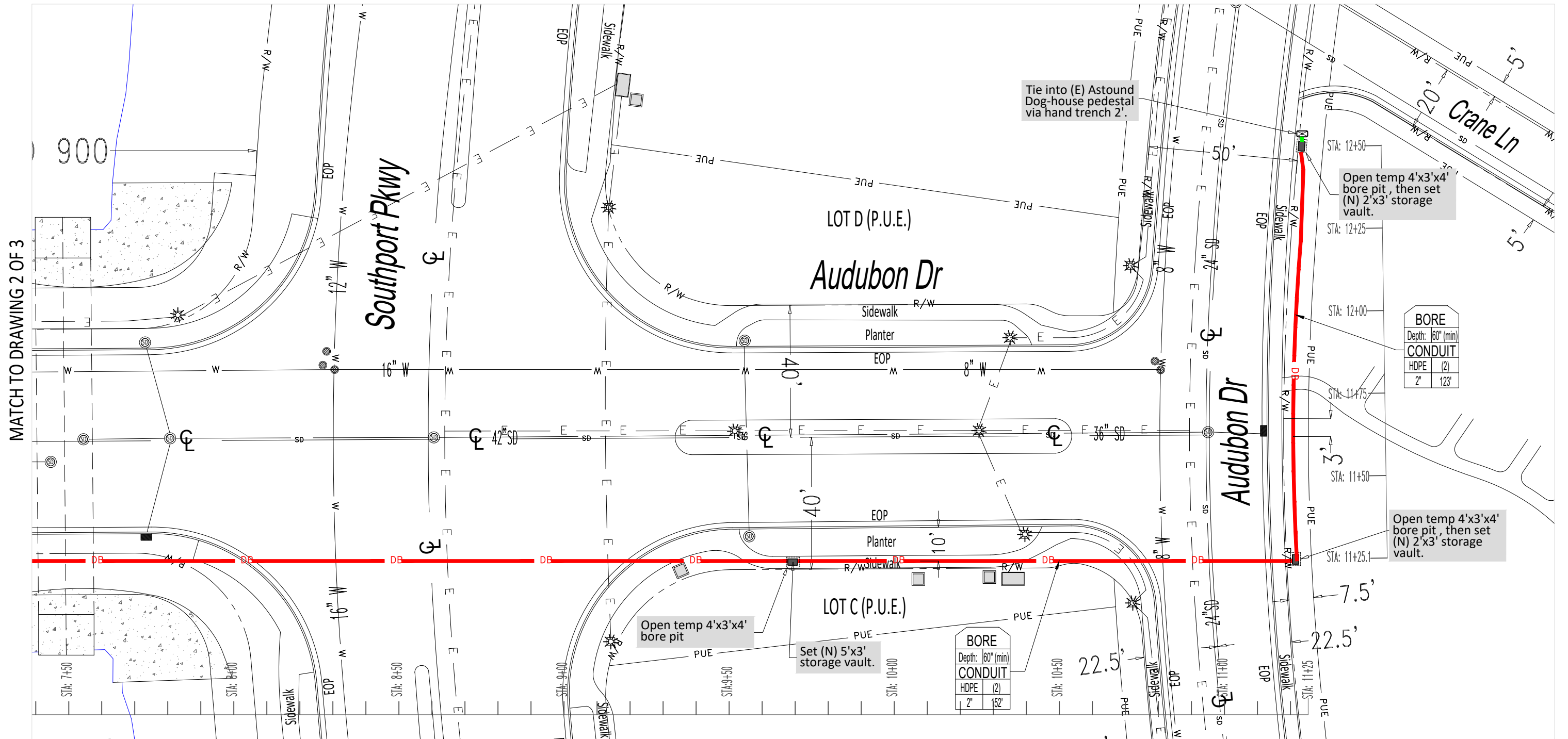
Project Owner:
astound
Broadband Powered by **wave**
4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

REVISION NO:	DATE:
WORK HOURS: MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.	

PROJECT:
3640 Ramos Dr
SCALE: 1"=30'-0"
JOB#: 300755826
DATE: 01/27/2023
SYSTEM:
West Sacramento 95691
Designed By:
Alex Slabosnitkiy 916-297-3257
SHEET #: 6
DRAWING #: 2 of 3



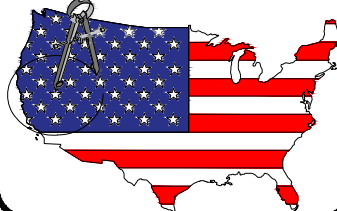
Phase: 1. Underground Directional Bore.



MATCH TO DRAWING 2 OF 3

Specific Notes:

Building California:



Know what's below.
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AT LEAST TWO WORKING DAYS BEFORE YOU DIG.
811/1-800-227-2600

Legend:

- - - - -INSTALL NEW FIBER INTO EXISTING CONDUIT.
- DB** - DIRECTIONAL BORE
- - - - -OPEN TRENCH
- - - - -INSTALL AERIAL STRAND & CABLE
- ⊗ - UTILITY POLE ⊙ - UTILITY POLE NUMBER
- - VAULTS → - INSTALL POLE ANCHOR
- ⬇️ - HWY NAME 📞 - CALL OUTS.
- - - - -Existing Fiber Optic
- - - - -ELECTRIC
- - - - -JOINT TRENCH
- - - - -SANITARY SEWER
- - - - -STORM DRAIN
- - - - -TELEPHONE
- - - - -WATER
- - - - -COMMUNICATIONS
- - BORE PIT
- ⊙ - MANHOLE ⚡ - FIRE HYDRANT

Project Owner:

Internet | tv | phone
astound
Broadband
Powered by **wave**

4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

REVISION NO:

DATE:

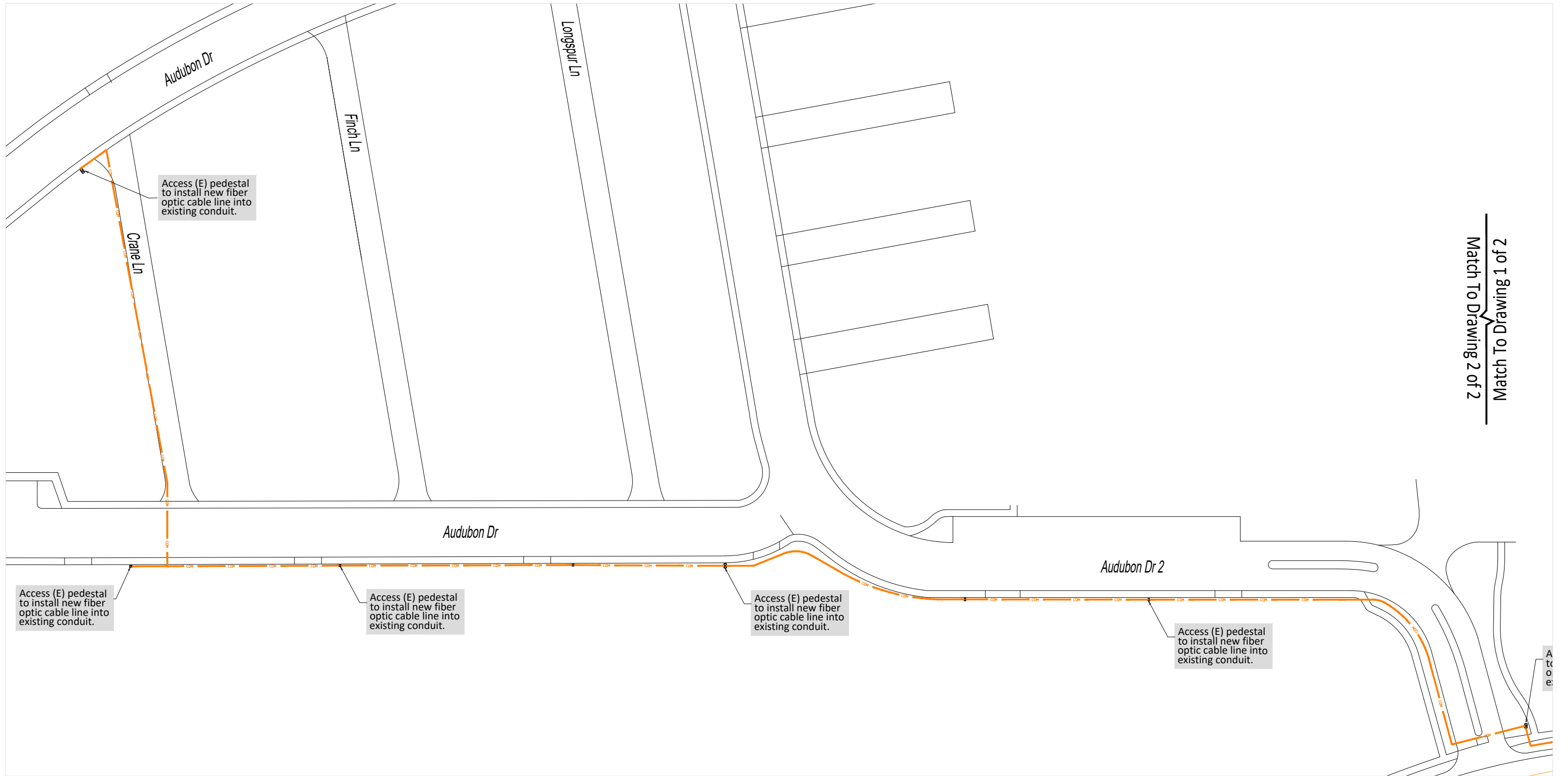
WORK HOURS:
MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.

PROJECT:

3640 Ramos Dr
SCALE: 1"=30'-0"
JOB#: 300755826
DATE: 01/27/2023
SYSTEM: West Sacramento 95691
Designed By: Alex Slabosnitskiy 916-297-3257
SHEET #: 7
DRAWING #: 3 of 3

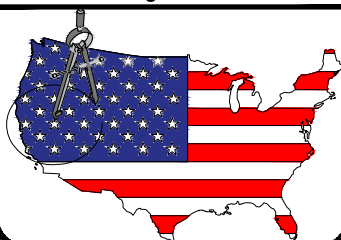


Phase: 2. Install New Fiber Optic Cable Line Into Existing Astound Conduit.



Specific Notes:

Building California:



**Know what's below.
Call before you dig.**
CALL UNDERGROUND SERVICE ALERT
AT LEAST TWO WORKING DAYS BEFORE YOU DIG.
811/1-800-227-2600

Legend:

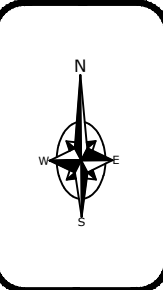
- INSTALL NEW FIBER INTO EXISTING CONDUIT.
- DIRECTIONAL BORE
- OPEN TRENCH
- INSTALL AERIAL STRAND & CABLE
- EXISTING FIBER OPTIC
- ELECTRIC
- JOINT TRENCH
- SANITARY SEWER
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- FIRE HYDRANT
- UTILITY POLE
- UTILITY POLE NUMBER
- VAULTS
- INSTALL POLE ANCHOR
- HWY NAME
- CALL OUTS.

Project Owner:



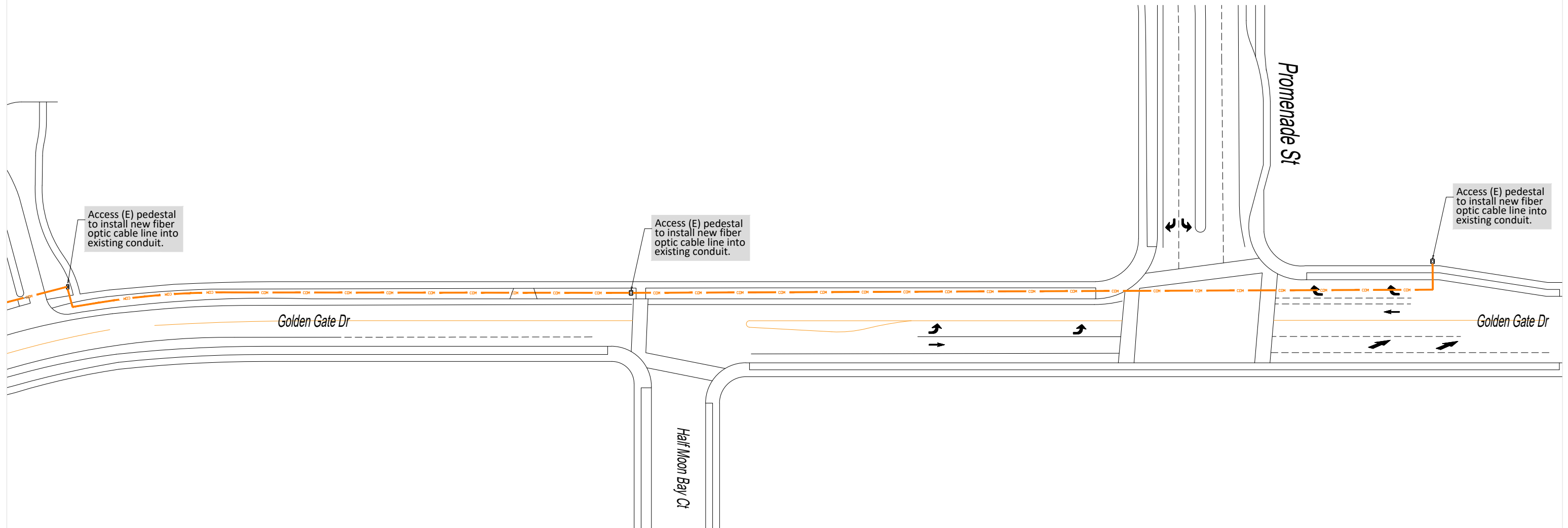
4121 Citrus Ave,
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Tel: (916) 297-3257

REVISION NO:	DATE:
WORK HOURS: MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.	
PROJECT: 3640 Ramos Dr	
SCALE: 1"=70'-0"	PHASE: W Sacramento
JOB#: 300755826	DATE: 01/27/2023
SYSTEM: West Sacramento 95691	
Designed By: Alex Slabosnitkiy 916-297-3257	
SHEET #: 8	DRAWING #: 1 of 2



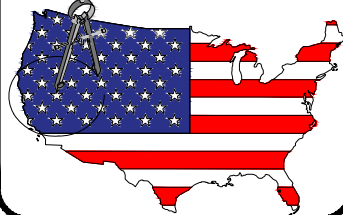
Phase: 2. Install New Fiber Optic Cable Line Into Existing Astound Conduit.

Match To Drawing 2 of 2
Match To Drawing 1 of 2



Specific Notes:

Building California:



Know what's below.
Call before you dig.

CALL UNDERGROUND SERVICE ALERT
AT LEAST TWO WORKING DAYS BEFORE YOU DIG.
811/1-800-227-2600

Legend:

- -INSTALL NEW FIBER INTO EXISTING CONDUIT.
- DB -DIRECTIONAL BORE
- -OPEN TRENCH
- -INSTALL AERIAL STRAND & CABLE
- ⊗ -UTILITY POLE ⑤ -UTILITY POLE NUMBER
- -VAULTS → -INSTALL POLE ANCHOR
- 🛣️ -HWY NAME 📞 -CALL OUTS.
- Existing Fiber Optic
- - - - -ELECTRIC
- - - - -JOINT TRENCH
- - - - -SANITARY SEWER
- - - - -STORM DRAIN
- - - - -TELEPHONE
- - - - -WATER
- - - - -COMMUNICATIONS
- -BORE PIT
- -MANHOLE ⚡ -FIRE HYDRANT

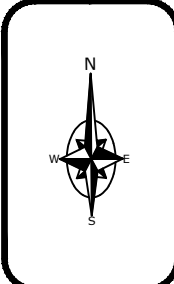
Project Owner:



4121 Citrus Ave,
Rocklin, CA 95677
Tel: (916) 297-3257

REVISION NO:	DATE:
WORK HOURS: MO-FRI 7:00AM-4:00PM OR AS ADVISED BY D.O.T.	

PROJECT: 3640 Ramos Dr	
SCALE: 1"=70'-0"	PHASE: W Sacramento
JOB#: 300755826	DATE: 01/27/2023
SYSTEM: West Sacramento 95691	
Designed By: Alex Slabosnitskiy 916-297-3257	
SHEET #: 9	DRAWING #: 2 of 2



TCP Package:

USE THIS CHART FOR CITY OF CITRUS HEIGHTS RECOMMENDED ADVANCED WARNING SIGN SPACINGS

ROAD TYPE	DISTANCE BETWEEN SIGNS		
	A	B	C
Urban (high speed)>25mph to 40 mph	250ft	250ft	250ft
Urban (high speed)>25mph to 40 mph	250ft	250ft	250ft
Urban (high speed)>25mph to 40 mph	250ft	250ft	250ft
Urban (high speed)>25mph to 40 mph	250ft	250ft	250ft
Urban (high speed)>40mph	350ft	350ft	350ft
Urban (high speed)>40mph	350ft	350ft	350ft
Urban (high speed)>40mph	350ft	350ft	350ft

LEGEND

- TRUCK MOUNTED ATTENUATOR
- WARNING BEACON-REQUIRED
- TRAFFIC CONE
- UTILITY VEHICLE
- TEMPORARY SIGN
- FLASHING ARROW BOARD
- CHP VEHICLE
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON
- WORK ZONE

TABLE 2
LONGITUDINAL BUFFER SPACE AND FLAGGER STATION SPACING

SPEED	Min D	DOWNGRADE Min D		
		-3%	-6%	-9%
mph	ft	ft	ft	ft
20	115	116	120	126
25	155	158	165	173
30	200	205	215	227
35	250	257	271	287
40	305	315	333	354
45	360	378	400	427
50	425	446	474	507
55	495	520	553	593
60	570	598	638	686
65	645	682	728	785
70	730	771	825	891

TABLE 1
TAPER LENGTH CRITERIA AND CHANNELIZING DEVICE SPACING

SPEED (S)	MINIMUM TAPER LENGTH FOR WIDTH OF OFFSET 12 FEE (W)				MAXIMUM CHANNELIZING DEVICE SPACING		
	TANTGENT	MERGING	SHIFTING	SHOULDER	TAPER	TANGENT	CONFLICT
	2L	L	L/2	L/3			
mph	ft	ft	ft	ft	ft	ft	ft
20	160	80	40	27	20	40	10
25	250	125	63	42	25	50	12
30	360	180	90	60	30	60	15
35	490	245	123	82	35	70	17
40	640	320	160	107	40	80	20
45	1080	540	270	180	45	90	22
50	1200	600	300	200	50	100	25
55	1320	660	330	220	55	110	27
60	1440	720	360	240	60	120	30
65	1560	780	390	260	65	130	32
70	1680	840	420	280	70	140	35

TABLE 3
ADVANCE WARNING SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS		
	A	B	C
URBAN-25mph OR LESS	100	100	100
URBAN-MORE THAT 25mph TO 40mph	250	250	250
URBAN- MORE THAN 40mph	350	350	350
RURAL	500	500	500
EXPRESSWAY/ FREEWAY	1000	1500	2640

CITY OF ELK GROVE SIGN SPACING CHART:

SPEED MPH	SIGN SPACE
25	150'
30	200'
35	250'
40	350'
45	550'
50	600'
55	1000'
65	1000'+

Minimum Taper Lengths

Posted Speed	Formula	Buffer Space	10' Offset									11' Offset			12' Offset			Cone Spacing		Sign Spacing	LIDG FT			
			Merge			Shift			Shoulder			Merge			Shift			Shoulder				Long.	Taper & LIDG	
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L							
25	$L = \frac{WS^2}{60}$	155'	104'	52'	35'	115'	57'	38'	125'	63'	42'	25'	13'	100' To 200'	94'									
30		200'	150'	75'	50'	165'	83'	55'	180'	90'	60'	30'	15'	120' To 240'	113'									
35	$L = WS$	250'	204'	102'	68'	225'	112'	75'	245'	123'	82'	35'	18'	140' To 280'	131'									
40		305'	267'	133'	89'	293'	147'	98'	320'	160'	107'	40'	20'	160' To 320'	150'									
45	$L = WS$	360'	450'	225'	150'	495'	248'	165'	540'	270'	180'	45'	23'	360' To 540'	169'									
50		425'	500'	250'	167'	550'	275'	183'	600'	300'	200'	50'	25'	400'-600'	197'									
55	$L = WS$	495'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	28'	440'-660'	210'									
60		570'	600'	300'	200'	660'	330'	220'	720'	360'	240'	50'	30'	480'-720'	225'									
65	$L = WS$	645'	650'	325'	217'	715'	358'	238'	780'	390'	260'	50'	33'	520'-700'	244'									
70		730'	700'	350'	233'	770'	385'	257'	840'	420'	280'	50'	35'	560'-820'	263'									

OWNER:

Designed By:

Field Contact:

Joseph Thomas
916-216-2810

Project#:
300755826

Project Name & Address

3640 Ramos Dr,
West Sacramento 95691

Sheet#:

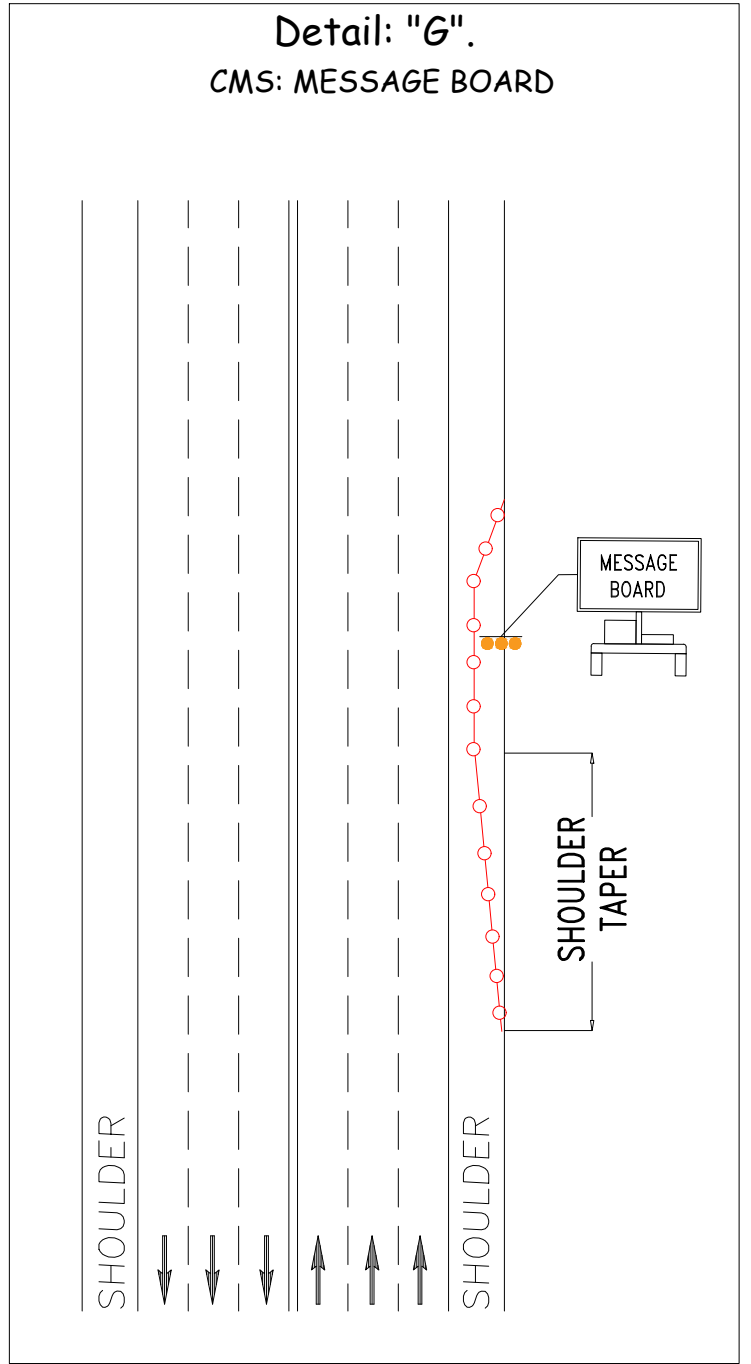
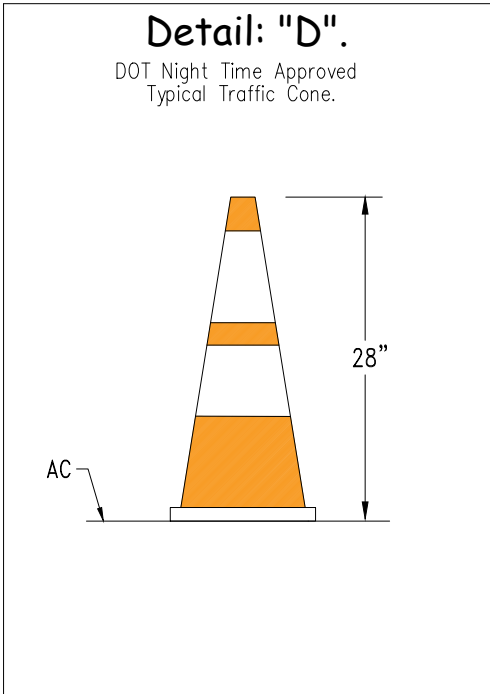
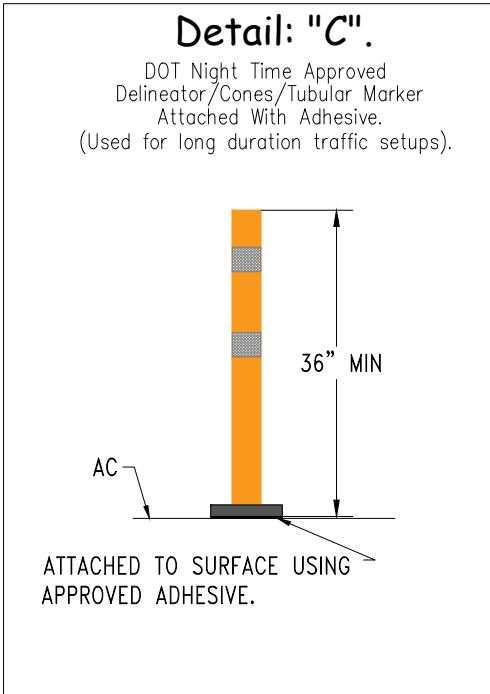
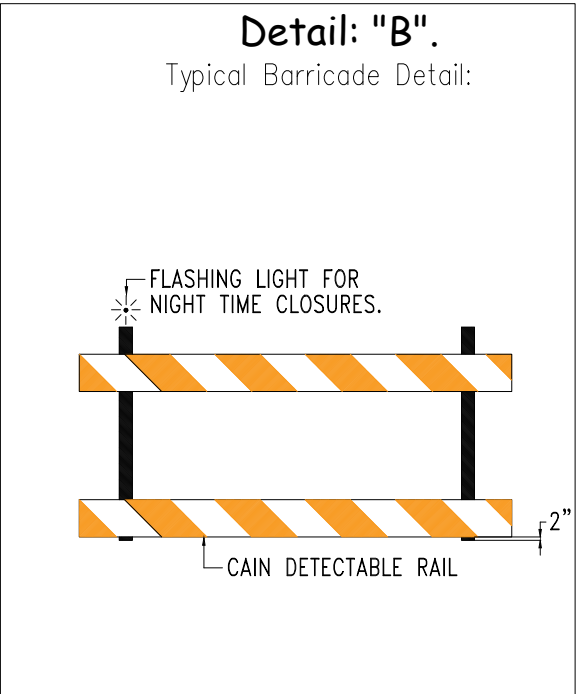
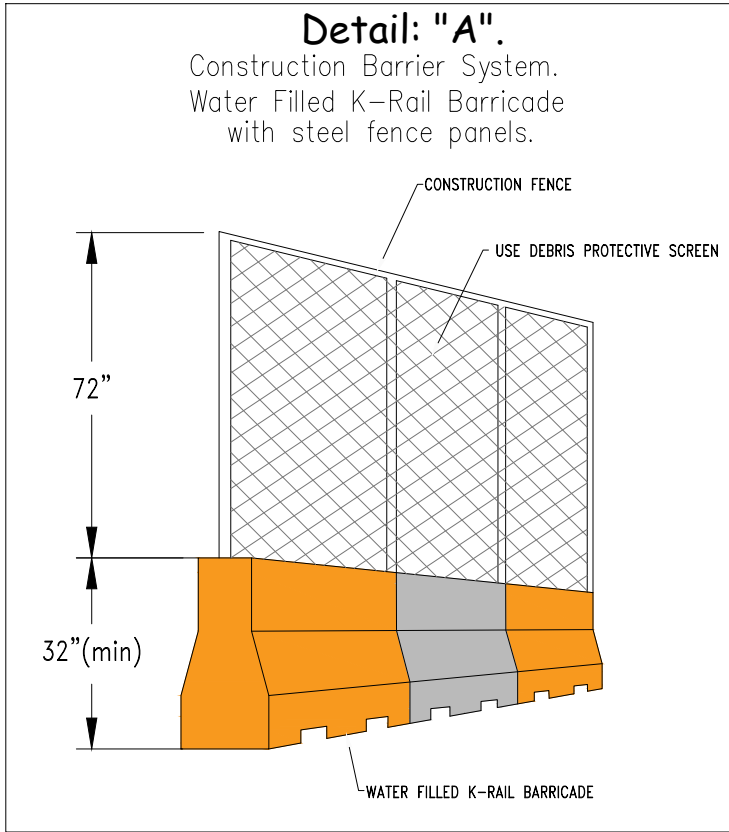
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Date: 01/27/2023

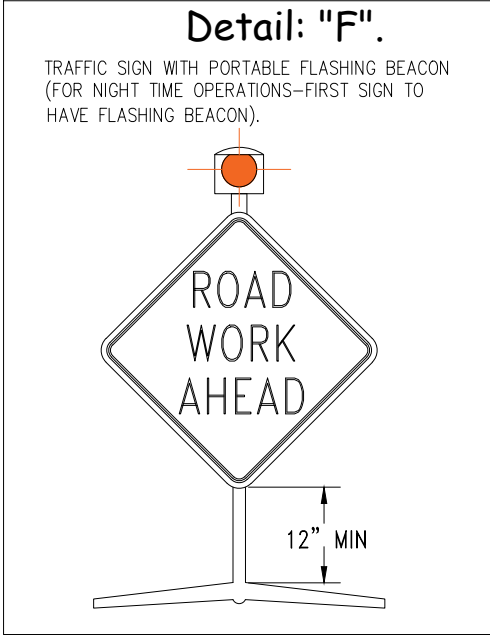
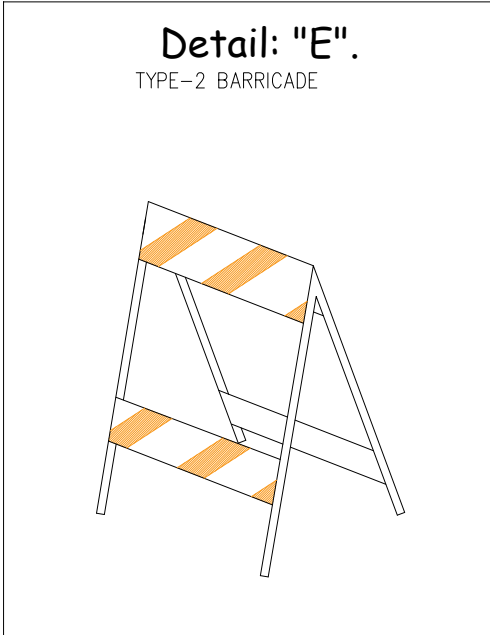
Scale: N.T.S.

Revision No: 1

Details:



- Construction Notes:**
- 1 • Inspect pathways regularly, and keep them clear of debris and well-maintained.
 - 2 • Inspect detour pathways regularly for adequacy of signal timing, signs, and potential traffic.
 - 3 • Inspect signs & traffic devices regularly, lift, reposition and replace if needed.
 - 4 • Remove any hazards and re-evaluate adequacy for pedestrian safety.
 - 5 • Inspect Arrow Board and flashing devices, replace battery regularly.
 - 6 • Pedestrians & passing traffic shall be shielded by a barrier from the debris originating from construction zone.
 - 7 • All traffic control devices (cones, signs barricades & arrow boards) to be DOT compliant including (night time rated if work takes place during night hours).
 - 8 • Closures to be coordinated with property/business owners in the vicinity of the construction activities.
 - 9 • Coordinate with City Parking Enforcement in order to obtain permits for parking closures.
 - 10 • Contact local Regional Transit authorities if work is affecting bus stations in order to see if the bus stations will need to be relocated or remain open.



OWNER:

Designed By:

Field Contact:

Joseph Thomas
916-216-2810

Project#:
300755826

Project Name & Address

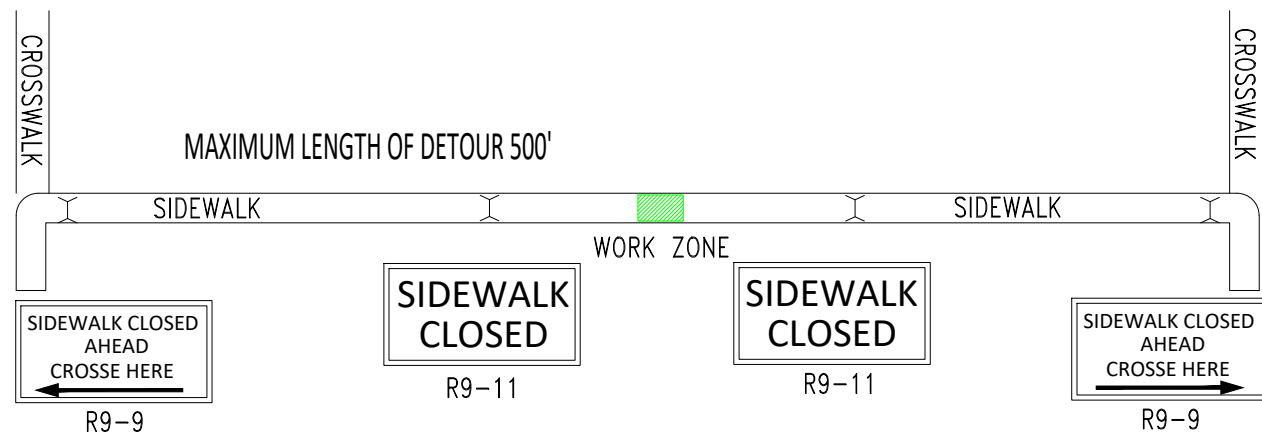
**3640 Ramos Dr,
West Sacramento 95691**

Sheet#:	
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Date:	01/27/2023
Scale:	N.T.S.
Revision No:	1

Details:

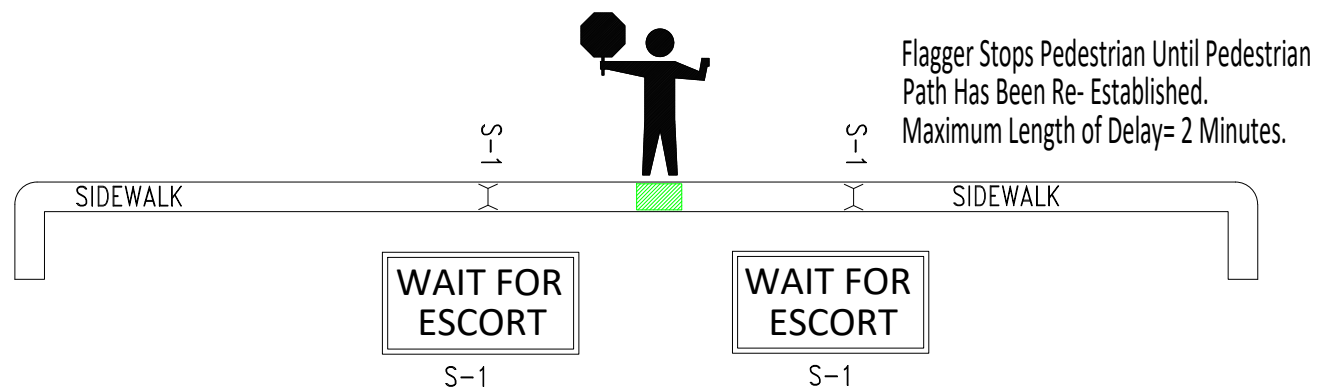
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DETOUR TO OTHER SIDE OF ROAD



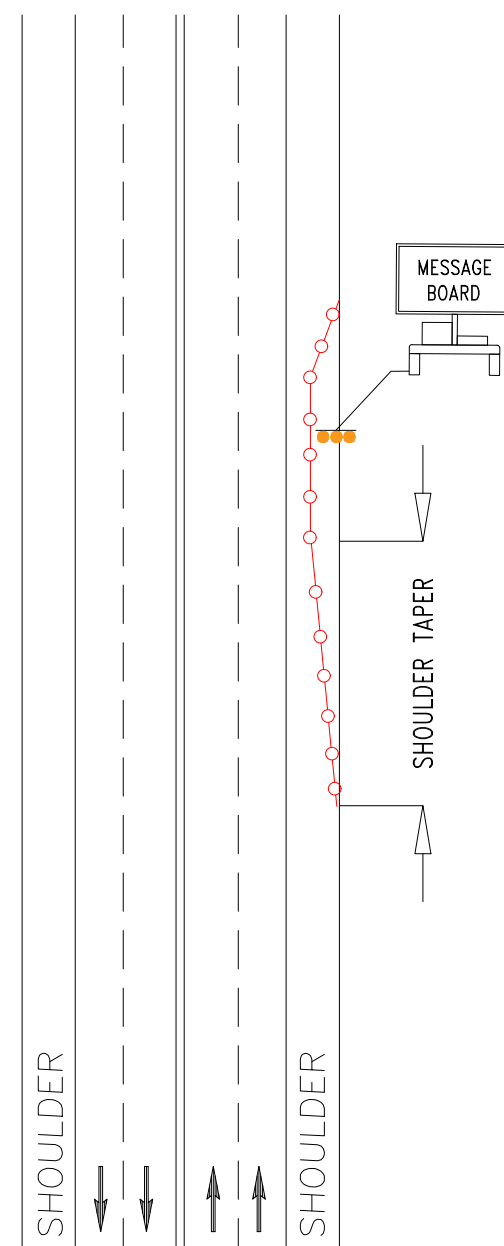
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FLAGGED PEDESTRIAN CONTROL:



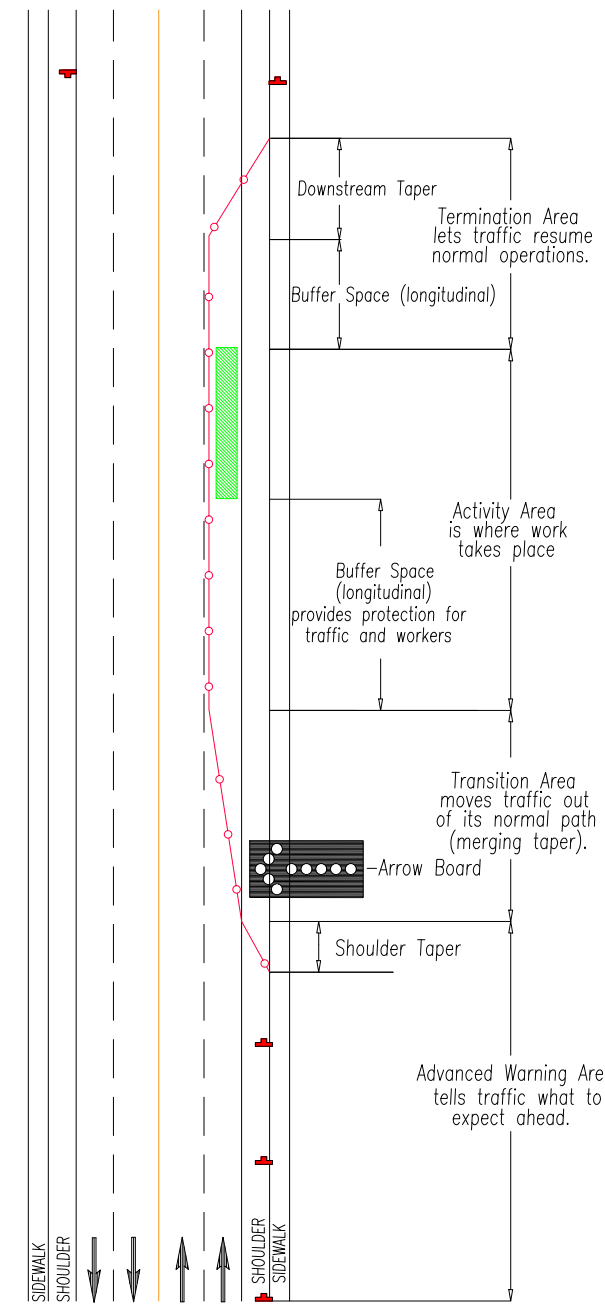
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CMS: Message Board shoulder installation



Detail: "I".

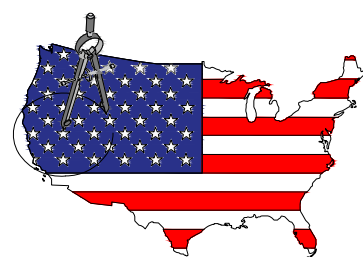
Component Parts of a Temporary Traffic Control Zone



OWNER:



Designed By:



Field Contact:

Joseph Thomas
916-216-2810

Project#:

300755826

Project Name & Address

3640 Ramos Dr,
West Sacramento 95691

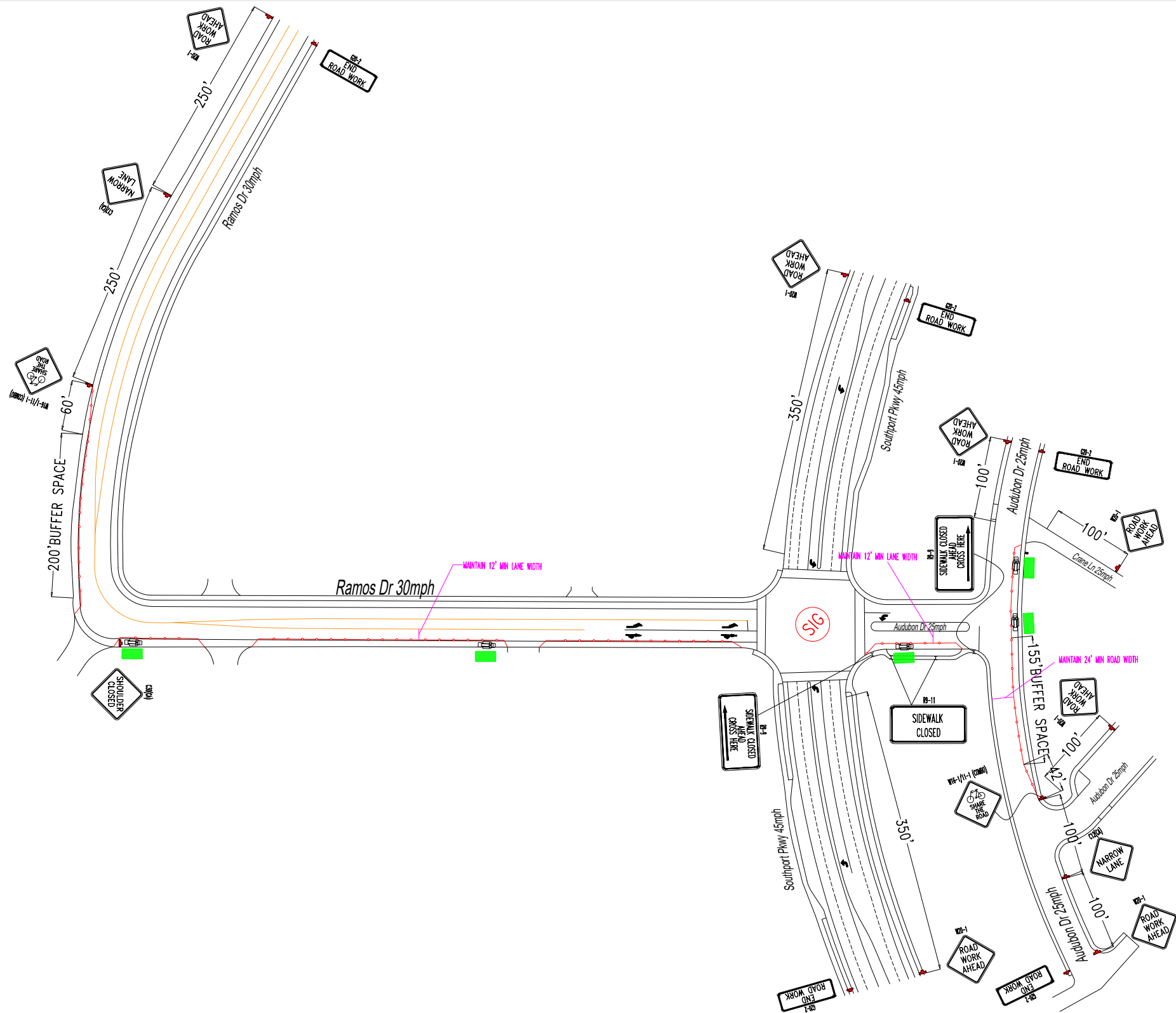
Sheet#:

12

Date: 01/27/2023

Scale: N.T.S.

Revision No: 1



LEGEND

- TRUCK MOUNTED ATTENUATOR
- Work Zone
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
- TEMPORARY SIGN
- Flashing Arrow Sign (FAS)
- FAS Support or Trailer
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON

Posted Speed	Formula	Buffer Space	Minimum Taper Lengths									Cone Spacing		Sign Spacing	LIDG FT
			10' Offset			11' Offset			12' Offset			Long.	Taper & LIDG		
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L				
25	$L = \frac{WS^2}{60}$	155'	104'	52'	35'	115'	57'	38'	125'	63'	42'	25'	13'	100' To 200'	94'
30		200'	150'	75'	50'	165'	83'	55'	180'	90'	60'	30'	15'	120' To 240'	113'
35	$L = \frac{WS^2}{60}$	250'	204'	102'	68'	225'	112'	75'	245'	123'	82'	35'	18'	140' To 280'	131'
40		305'	267'	133'	89'	293'	147'	98'	320'	160'	107'	40'	20'	160' To 320'	150'
45	$L = WS$	360'	450'	225'	150'	495'	248'	165'	540'	270'	180'	45'	23'	360' To 540'	169'
50		425'	500'	250'	167'	550'	275'	183'	600'	300'	200'	50'	25'	400' - 600'	197'
55	$L = WS$	495'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	28'	440' - 660'	210'
60		570'	600'	300'	200'	660'	330'	220'	720'	360'	240'	50'	30'	480' - 720'	225'
65	$L = WS$	645'	650'	325'	217'	715'	358'	238'	780'	390'	260'	50'	33'	520' - 700'	244'
70		730'	700'	350'	233'	770'	385'	257'	840'	420'	280'	50'	35'	560' - 820'	263'

ROAD TYPE	RECOMMENDED ADVANCED WARNING SIGN SPACINGS			DISTANCE BETWEEN SIGNS		
	A	B	C	A	B	C
Urban (high speed) 25 or less	100ft	100ft	100ft			
Urban (high speed) >25mph to 40 mph	250ft	250ft	250ft			
Urban (high speed) more than 40mph	350ft	350ft	350ft			
Rural (high speed) >40mph	500ft	500ft	500ft			
Expressway/ Freeway	1000ft	1500ft	2640ft			

OWNER: **astound**
Broadband
Powered by **wave**

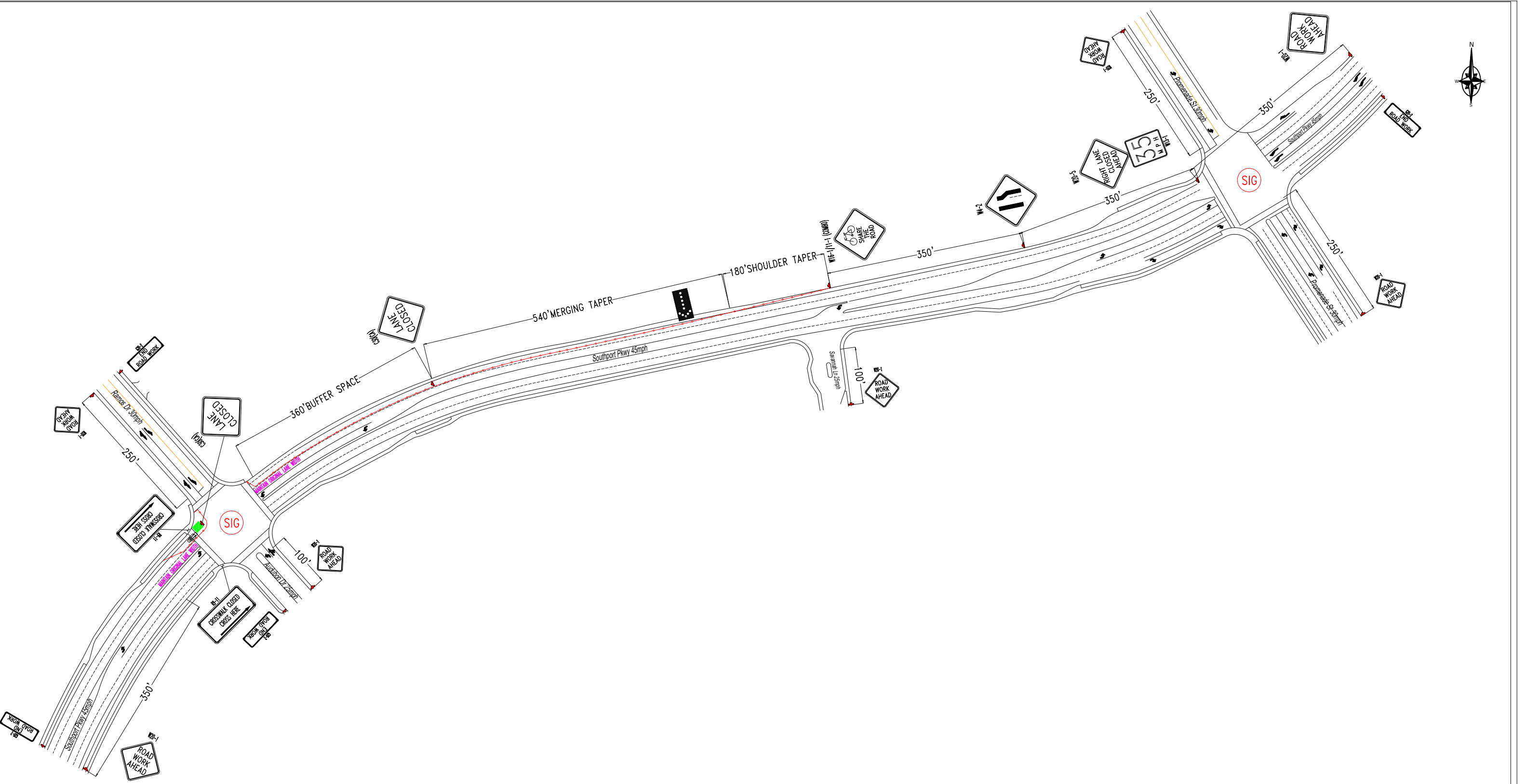
PROJECT: 3640 Ramos Dr, West Sacramento 95691
JOB #: 300755826

CONTACT: Joseph Thomas 916-216-2810

WORK TO BE DONE: Mo-Fri 7:00am TO 4:00pm OR TBD BY D.O.T.

SYSTEM: West Sacramento 95691

DRAWING NO: 1 of 1 SCALE: N.T.S. DATE: 01/27/2023 SHEET: 13



LEGEND

- TRUCK MOUNTED ATTENUATOR
- Work Zone
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
- TEMPORARY SIGN
- Flashing Arrow Sign (FAS)
- FAS Support or Trailer
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON

Posted Speed	Formula	Buffer Space	Minimum Taper Lengths									Cone Spacing		Sign Spacing	LIDG FT
			10' Offset			11' Offset			12' Offset			Long.	Taper & LIDG		
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L				
25	$L = \frac{WS^2}{60}$	155'	104'	52'	35'	115'	57'	38'	125'	63'	42'	25'	13'	100' To 200'	94'
30		200'	150'	75'	50'	165'	83'	55'	180'	90'	60'	30'	15'	120' To 240'	113'
35		250'	204'	102'	68'	225'	112'	75'	245'	123'	82'	35'	18'	140' To 280'	131'
40		305'	267'	133'	89'	293'	147'	98'	320'	160'	107'	40'	20'	160' To 320'	150'
45	$L = WS$	360'	450'	225'	150'	495'	248'	165'	540'	270'	180'	45'	23'	360' To 540'	169'
50		425'	500'	250'	167'	550'	275'	183'	600'	300'	200'	50'	25'	400'-600'	197'
55		495'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	28'	440'-660'	210'
60		570'	600'	300'	200'	660'	330'	220'	720'	360'	240'	50'	30'	480'-720'	225'
65		645'	650'	325'	217'	715'	358'	238'	780'	390'	260'	50'	33'	520'-700'	244'
70		730'	700'	350'	233'	770'	385'	257'	840'	420'	280'	50'	35'	560'-820'	263'

ROAD TYPE	RECOMMENDED ADVANCED WARNING SIGN SPACINGS			DISTANCE BETWEEN SIGNS		
	A	B	C	A	B	C
Urban (high speed) 25 or less	100ft	100ft	100ft			
Urban (high speed) 25mph to 40 mph	250ft	250ft	250ft			
Urban (high speed) more than 40mph	350ft	350ft	350ft			
Rural (high speed) >40mph	500ft	500ft	500ft			
Expressway/ Freeway	1000ft	1500ft	2640ft			

OWNER:

 Internet | tv | phone
 Broadband
 Powered by wave

PROJECT:
 3640 Ramos Dr,
 West Sacramento 95691

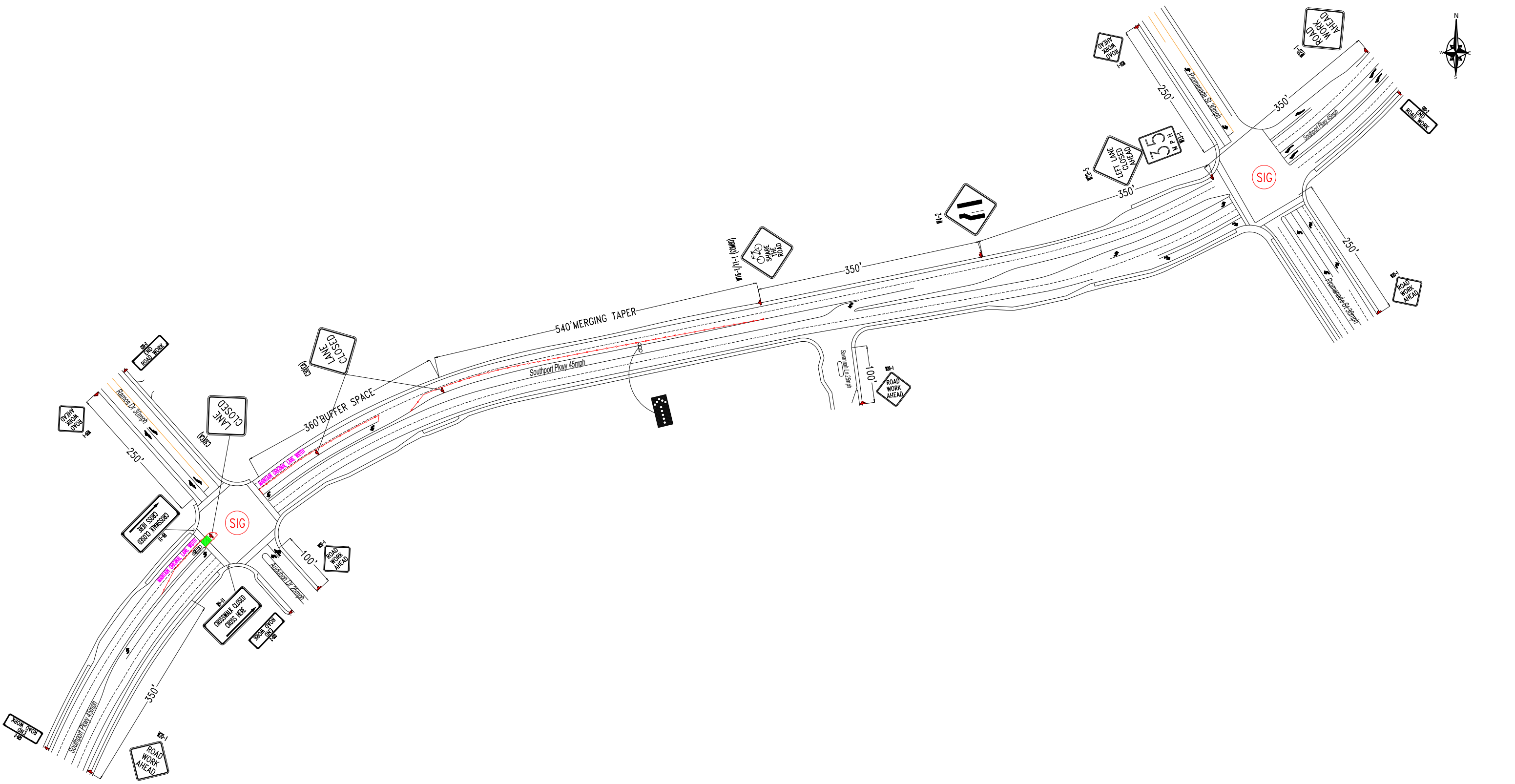
JOB #:
 300755826

CONTACT:
 Joseph Thomas 916-216-2810

WORK TO BE DONE:
 Mo-Fri 7:00am TO 4:00pm
 OR TBD BY D.O.T.

SYSTEM:
 West Sacramento 95691

DRAWING NO: 1 of 1 **SCALE:** N.T.S. **DATE:** 01/27/2023 **SHEET:** 14



LEGEND

- TRUCK MOUNTED ATTENUATOR
- Work Zone
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
- TEMPORARY SIGN
- Flashing Arrow Sign (FAS)
- FAS Support or Trailer
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON

Posted Speed	Formula	Buffer Space	Minimum Taper Lengths									Cone Spacing		Sign Spacing	LIDG FT
			10' Offset			11' Offset			12' Offset			Long.	Taper & LIDG		
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L				
25	$L = \frac{WS^2}{60}$	155'	Merge	Shift	Shoulder	Merge	Shift	Shoulder	Merge	Shift	Shoulder	25'	13'	100' To 200'	94'
30		200'	104'	52'	35'	115'	57'	38'	125'	63'	42'	30'	15'	120' To 240'	113'
35		250'	150'	75'	50'	165'	83'	55'	180'	90'	60'	35'	18'	140' To 280'	131'
40		305'	204'	102'	68'	225'	112'	75'	245'	123'	82'	40'	20'	160' To 320'	150'
45		360'	250'	133'	89'	293'	147'	98'	320'	160'	107'	45'	23'	360' To 540'	169'
50	$L = WS$	425'	450'	225'	150'	495'	248'	165'	540'	270'	180'	50'	25'	400'-600'	197'
55		495'	500'	250'	167'	550'	275'	183'	600'	300'	200'	50'	28'	440'-660'	210'
60		570'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	30'	480'-720'	225'
65		645'	600'	300'	200'	660'	330'	220'	720'	360'	240'	50'	30'	480'-720'	225'
70		730'	645'	325'	217'	715'	358'	238'	780'	390'	260'	50'	33'	520'-700'	244'
70		730'	700'	350'	233'	770'	385'	257'	840'	420'	280'	50'	35'	560'-820'	263'

ROAD TYPE	RECOMMENDED ADVANCED WARNING SIGN SPACINGS			DISTANCE BETWEEN SIGNS		
	A	B	C	A	B	C
Urban (high speed) 25 or less	100ft	100ft	100ft			
Urban (high speed) >25mph to 40 mph	250ft	250ft	250ft			
Urban (high speed) more than 40mph	350ft	350ft	350ft			
Rural (high speed) >40mph	500ft	500ft	500ft			
Expressway/ Freeway	1000ft	1500ft	2640ft			

OWNER:
astound
 Internet | tv | phone
 Broadband
 Powered by **wave**

PROJECT:
 3640 Ramos Dr,
 West Sacramento 95691

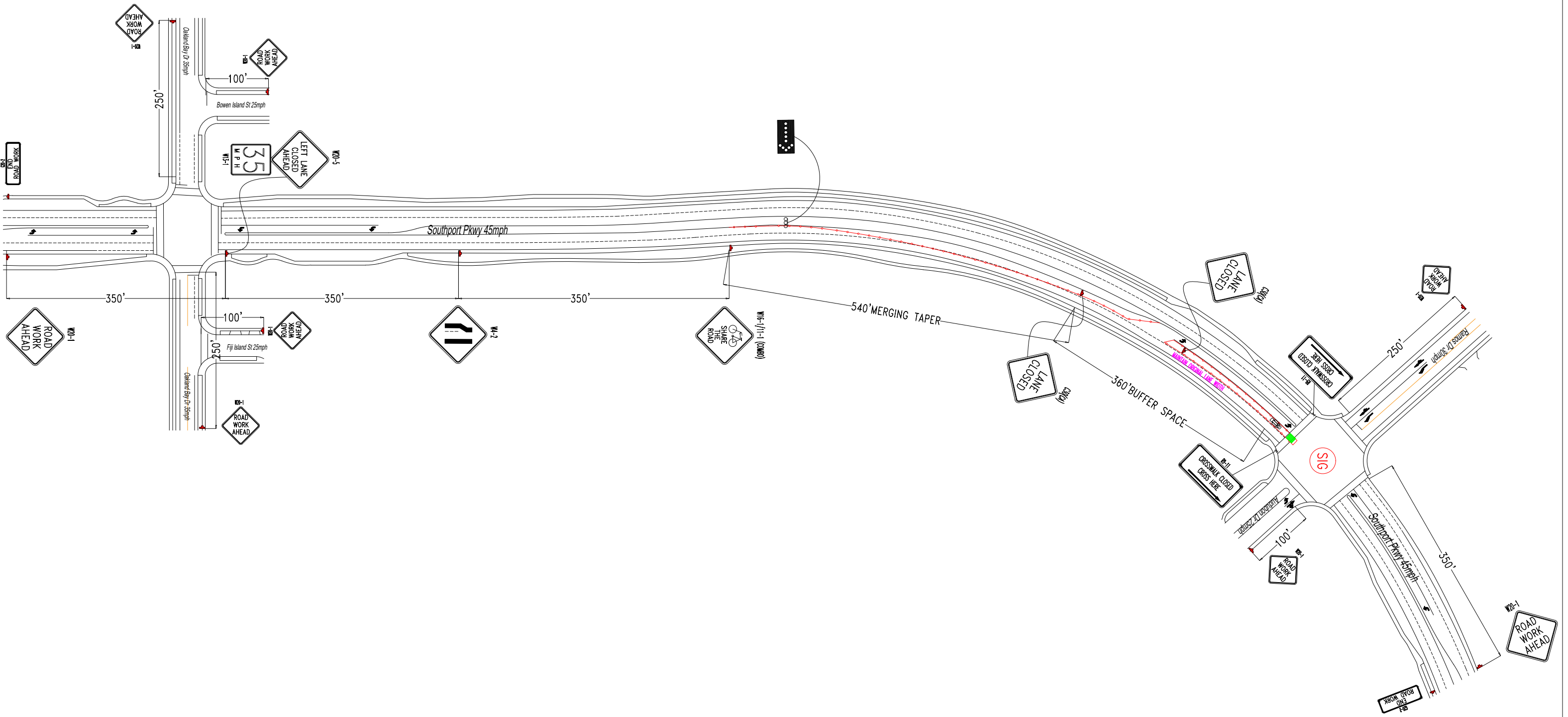
JOB #:
 300755826

CONTACT:
 Joseph Thomas 916-216-2810

WORK TO BE DONE:
 Mo-Fri 7:00am TO 4:00pm
 OR TBD BY D.O.T.

SYSTEM:
 West Sacramento 95691

DRAWING NO: 1 of 1
SCALE: N.T.S.
DATE: 01/27/2023
SHEET: 15



LEGEND

- TRUCK MOUNTED ATTENUATOR
- WORK ZONE
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
- TEMPORARY SIGN
- Flashing Arrow Sign (FAS)
- FAS Support or Trailer
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON

Posted Speed	Formula	Buffer Space	Minimum Taper Lengths									Cone Spacing		Sign Spacing	LIDG FT
			10' Offset			11' Offset			12' Offset			Long.	Taper & LIDG		
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L				
25	$L = \frac{WS^2}{60}$	155'	104'	52'	35'	115'	57'	38'	125'	63'	42'	25'	13'	100' To 200'	94'
30		200'	150'	75'	50'	165'	83'	55'	180'	90'	60'	30'	15'	120' To 240'	113'
35		250'	204'	102'	68'	225'	112'	75'	245'	123'	82'	35'	18'	140' To 280'	131'
40		305'	267'	133'	89'	293'	147'	98'	320'	160'	107'	40'	20'	160' To 320'	150'
45	$L = WS$	360'	450'	225'	150'	495'	248'	165'	540'	270'	180'	45'	23'	360' To 540'	169'
50		425'	500'	250'	167'	550'	275'	183'	600'	300'	200'	50'	25'	400'-600'	197'
55		495'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	28'	440'-660'	210'
60		570'	600'	300'	200'	660'	330'	220'	720'	360'	240'	50'	30'	480'-720'	225'
65		645'	650'	325'	217'	715'	358'	238'	780'	390'	260'	50'	33'	520'-700'	244'
70		730'	700'	350'	233'	770'	385'	257'	840'	420'	280'	50'	35'	560'-820'	263'

ROAD TYPE	RECOMMENDED ADVANCED WARNING SIGN SPACINGS			DISTANCE BETWEEN SIGNS		
	A	B	C	A	B	C
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Expressway/ Freeway	1000ft	1500ft	2640ft			

OWNER: **astound**
Broadband Powered by **wave**

PROJECT: **3640 Ramos Dr, West Sacramento 95691**

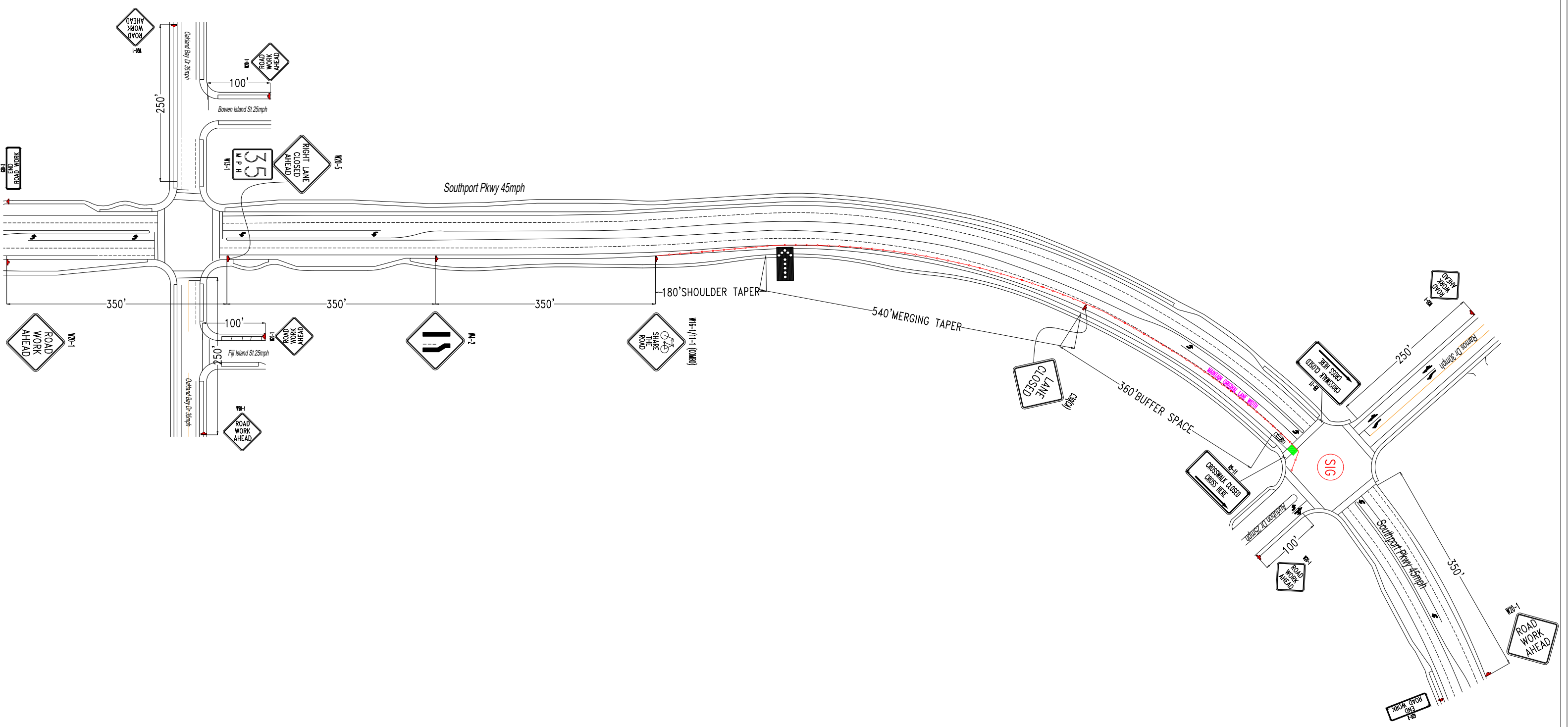
JOB #: **300755826**

CONTACT: **Joseph Thomas 916-216-2810**

WORK TO BE DONE: **Mo-Fri 7:00am TO 4:00pm OR TBD BY D.O.T.**

SYSTEM: **West Sacramento 95691**

DRAWING NO: **1 of 1** SCALE: **N.T.S.** DATE: **01/27/2023** SHEET: **16**



LEGEND

- TRUCK MOUNTED ATTENUATOR
- Work Zone
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
- TEMPORARY SIGN
- Flashing Arrow Sign (FAS)
- FAS Support or Trailer
- BARRICADE
- DIRECTION OF TRAVEL
- PORTABLE FLASHING BEACON

Posted Speed	Formula	Buffer Space	Minimum Taper Lengths									Cone Spacing		Sign Spacing	LIDG FT
			10' Offset			11' Offset			12' Offset			Long.	Taper & LIDG		
			L	1/2 L	1/3 L	L	1/2 L	1/3 L	L	1/2 L	1/3 L				
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45		360'	267'	133'	89'	293'	147'	98'	320'	160'	107'	45'	23'	360' To 540'	169'
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60		570'	425'	212'	141'	605'	303'	202'	660'	330'	220'	50'	30'	480'-720'	225'
65		645'	550'	275'	183'	605'	303'	202'	660'	330'	220'	50'	30'	480'-720'	225'
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OWNER:

 Internet | tv | phone
 Broadband
 Powered by **wave**

PROJECT:
 3640 Ramos Dr,
 West Sacramento 95691

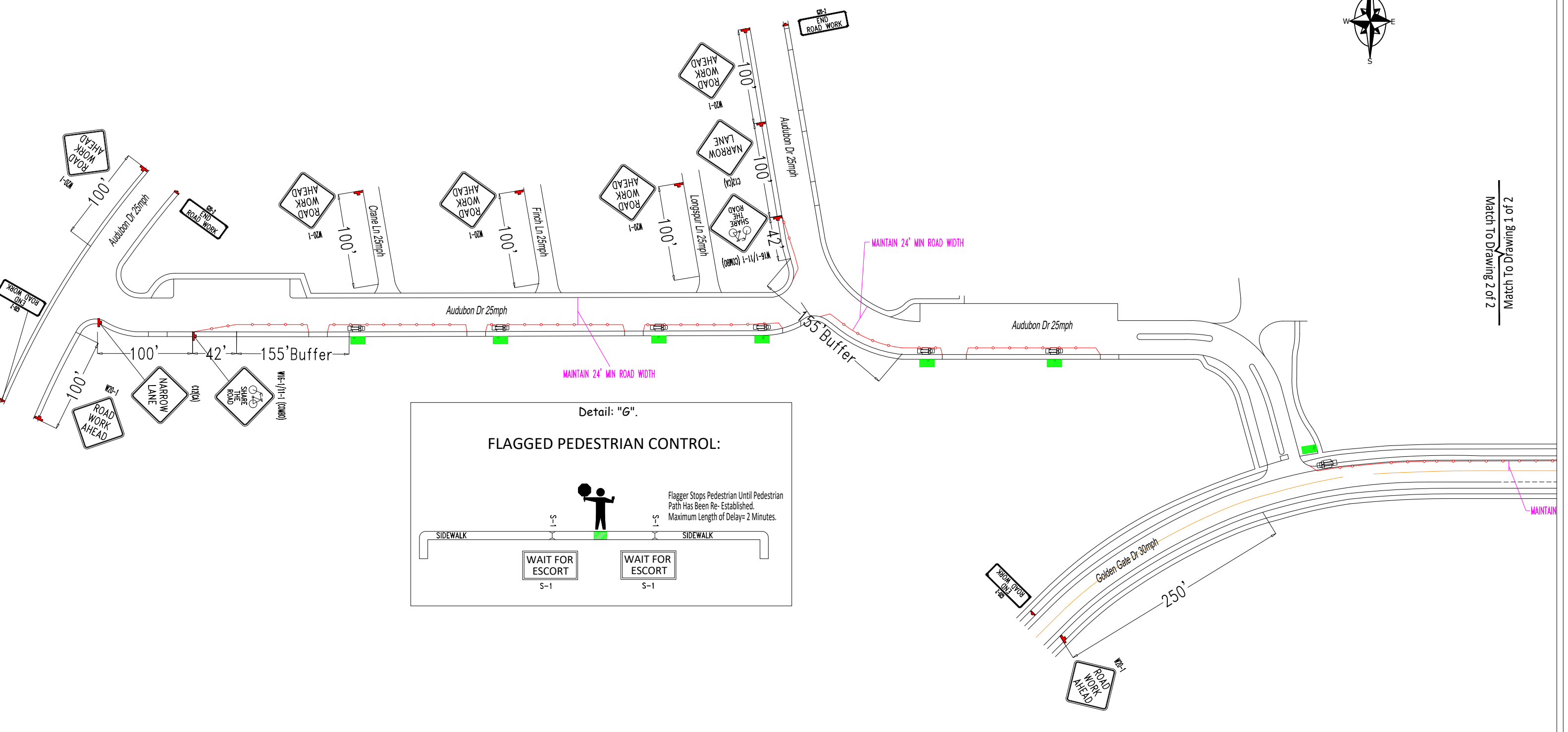
JOB #:
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CONTACT:
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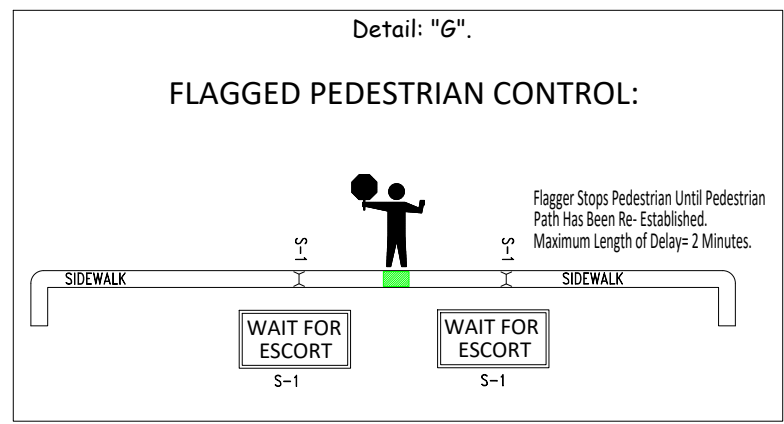
WORK TO BE DONE:
 Mo-Fri 7:00am TO 4:00pm
 OR TBD BY D.O.T.

SYSTEM:
 West Sacramento 95691

DRAWING NO: 1 of 1 **SCALE:** N.T.S. **DATE:** 01/27/2023 **SHEET:** 17



Match To Drawing 1 of 2
Match To Drawing 2 of 2



LEGEND

- TRUCK MOUNTED ATTENUATOR
- WORK ZONE
- TRAFFIC CONE
- TRACK MOUNTED ARROW BOARD
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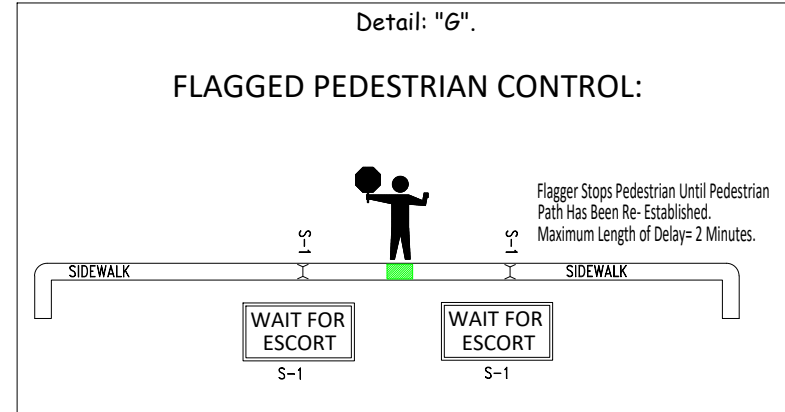
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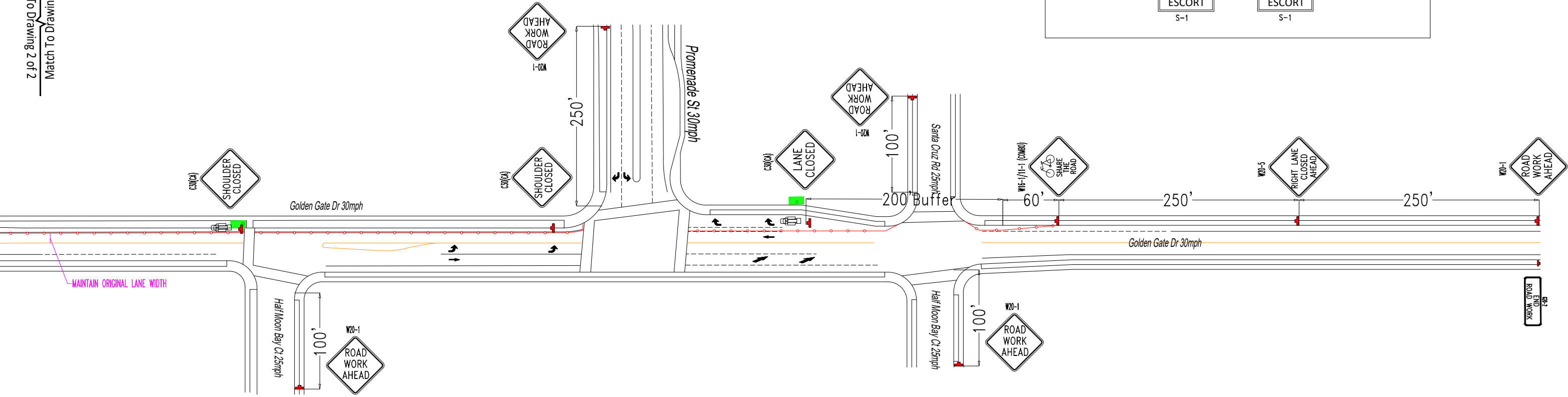
WORK TO BE DONE: Mo-Fri 7:00am TO 4:00pm OR TBD BY D.O.T.

SYSTEM: West Sacramento 95691

DRAWING NO: 1 of 2 SCALE: 1"=100' DATE: 01/27/2023 SHEET: 18



Match To Drawing 1 of 2
Match To Drawing 2 of 2



LEGEND

- TRUCK MOUNTED ATTENUATOR
- Work Zone
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PROJECT: 3640 Ramos Dr, West Sacramento 95691

JOB #: 300755826

CONTACT: Joseph Thomas 916-216-2810

WORK TO BE DONE: Mo-Fri 7:00am TO 4:00pm OR TBD BY D.O.T.

SYSTEM: West Sacramento 95691

DRAWING NO: 2 of 2 SCALE: 1"=100' DATE: 01/27/2023 SHEET: 19

**RD 900 BOARD MEETING
RECLAMATION DISTRICT 900
January 19, 2023
Minutes**

Pursuant to Government Code section 54953, as amended by Assembly Bill 361 (2021), and due to the State of Emergency declared by the Governor on March 4, 2020, members of the Reclamation District 900 Board of Trustees participated in this Special Meeting using the Zoom meeting platform. To reduce the spread of COVID-19, members of the public were invited to watch the Regular Board meeting livestream at https://youtu.be/ywd4X_xpFE.

The Regular Board meeting was called to order at 6:06 PM by President Guerrero. Also in attendance at the meeting were: Trustees Early, Sulpizio Hull and Alcalá, General Manager Johnson, Interim Assistant General Manager Fabun, and District Counsel Nevis.

GENERAL ADMINISTRATION – PART I

Entry No. 1

Heard General Administration Functions as follows:

- A. Presentations by the public on matters not on the agenda within the jurisdiction of the District. The Agency is prohibited by law from discussing issues not on the agenda brought to them at this time.
No comments by the public.

CONSENT AGENDA – PART II

Entry No. 2 - Consideration of Resolution 23-01-01 Adopting Findings Necessary to Continue Conducting Reclamation District 900 Board Meetings Via Teleconference Pursuant to Assembly Bill 361.

Entry No. 3 - Consideration of Authorization to Amend the Existing shared Services Agreement with the City of West Sacramento – **ITEM REMOVED FROM AGENDA**

Entry No 4 - Consideration Of Resolution 23-01-02 Finding That A Notice Of Exemption Under The California Environmental Quality Act (“Ceqa”) Relating To The District’s Routine Maintenance And Repair Of District Facilities Is Appropriate Because Such Maintenance And Repair Is Categorically Exempt From Ceqa; That Not Exception To The Categorical Exemption Exists; And Authorizing The General Manager To Take Such Actions And Prepare Such Documents As May Be Reasonably Necessary To Carry The Intent Of The Board’s Resolution Into Effect

Entry No. 5 - Consideration of Approval of the December 19, 2022 Special Board Meeting Minutes

MOTION: Early
NOES: None

SECOND: Alcalá
ABSTAIN: None

AYES: Early, Alcalá, Sulpizio Hull, Guerrero
ABSENT: Orozco

The consent agenda passed 4-0, by roll call vote.

REGULAR AGENDA – PART III

Entry No. 6 – Consideration to Approve the Reclamation District 900 Annual Financial Audit Reports for Fiscal Year Ended June 30, 2021

Discussion: Mary Ann Cropper with Cropper Accountancy Corporation provided an overview of RD 900’s annual audit for year ending June 30, 2021. All accounts were in order. Several recommendations included:

1. Segregation of Duties – the General Manager is the signer on all bank accounts, authorizer of all invoices, and has edit access to the accounting system. Recommend additional staff or Board member to oversee some activities.
2. Accrual of Reimbursable Grant Costs – Recommend invoicing grant provider when the fiscal year ends.
3. Financial Policies and Procedures – Recommend District establish Financial Policies and Procedures including: Revenue recognition, segregation of duties, vendor management, payroll processes, computer controls.

MOTION: Early SECOND: Sulpizio Hull AYES: Early, Alcala, Sulpizio Hull, Guerrero
NOES: None ABSTAIN: None ABSENT: Orozco

The agenda item passed 4-0, by roll call vote.

Entry No.7 – General Manager Update

General Manager Johnson reported the following:

A request for bid will be available this week to replace the slope mower that was destroyed this past summer.

Levee Maintenance

Staff have been working around the clock due to the storms beginning just before Christmas and ending January 16, 2023. Levees held up real well, with 2 minor slips along the Deep Water Shipping Channel (near the District's old Corp. yard). Pump stations ran adequately and ran for long durations with a few minor electrical problems that we are working on. The ditches were cleaned of debris during the storms to allow flowage. The ditches are showing signs of erosion. Staff will need to repair as the ground dries up.

Contractor completed rocking the access road along Southport seepage berm. Due to the nature of seepage berm material (sand), the sand/dirt had been washing into the City of West Sacramento's drainage system. After all the rains, it appears that this addition rock has prevented much of the sand from entering the storm drain.

Blacker Canal Bank Stabilization Project

The District's environmental consultant (Marcus Bole & Assoc./ECORP) and staff have prepared the water quality permits for the State of California. The District will pay the California Department of Fish and Wildlife's 1602 permit fees: \$6,236.

Our consultant will also be submitting the Regional Water Quality Control Board 401 Water Quality Certification. Fees are not due until approved. Fees: \$2,031

District is targeting 2023 construction.

RD900 OFFICE, 889 DREVER ST.

SANITARY SEWER

The sanitary sewer lines in the entire building are corroded and have cracked causing backups in the sinks and toilets. The General Manager received two quotes to begin the repairs. There were 2 options for repair: 1. Tear up the entire floor and concrete and replace the steel pipe with PVC or 2. Slip line the existing pipes with non-evasive techniques. Slip lining was chosen. The current estimate is approximately \$105,000. This includes lining approximately 300 feet of sewer line and adding cleanouts. Rooter Hero has been working day and night and weekends to complete the job.

ROOF

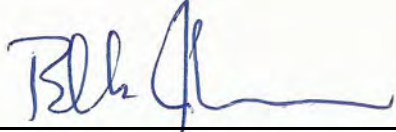
Roofing contractor has been delayed due to weather.

WEST SACRAMENTO AREA FLOOD CONTROL AGENCY


Greg Fabun provided an update on WSAFCA's activities, funding with the USACE, the necessary funding to complete the projects for WSAFCA/City of West Sacramento.

Entry No. 7

The meeting adjourned at 6:42 PM.



Blake Johnson, General Manager/Secretary
Reclamation District 900

MEETING DATE: February 16, 2023	ITEM # 6
<div style="display: flex; align-items: center;">  <div> <p>SUBJECT:</p> <p style="text-align: center;">CONSIDERATION TO ENDORSE THE PROPOSED PHASE 6 PROJECT BY SMART GROWTH INVESTORS II, LLC AT THE CORNER OF MILL AND RIVERFRONT STREETS FOR THE CENTRAL VALLEY FLOOD PROTECTION BOARD</p> </div> </div>	
<p>INITIATED OR REQUESTED BY:</p> <p><input type="checkbox"/> Council <input checked="" type="checkbox"/> Staff</p> <p><input type="checkbox"/> Other</p>	<p>REPORT COORDINATED OR PREPARED BY:</p> <p>Blake Johnson, General Manager</p>
<p>ATTACHMENT <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Information <input type="checkbox"/> Direction <input checked="" type="checkbox"/> Action</p>	

OBJECTIVE

The objective of this report is to obtain the Reclamation District 900 (District) Board of Trustees (Board) approval to endorse the proposed Phase 6 Project by Smart Growth Investors II, LLC (Developer) at the corner of Mill and Riverfront Streets for the Central Valley Flood Projection Board (CVFPB).

RECOMMENDED ACTION

Staff respectfully recommends that the Board endorse Smart Growth Investors II, LLC encroachment permit for the CVFPB.

BACKGROUND

The Phase 6 development proposal includes a 260-unit apartment building as well as a mixed-use amenity building; these buildings are located just south of the Barn at the corner of Mill and Riverfront Streets within the City of West Sacramento’s Bridge District.

This project will be abutting the Sacramento-San Joaquin Drainage District (Sacramento River flood control project) which is overseen by the CVFPB.

The City has established a “no build line” along this portion of the Sacramento River so that any new construction would not impact the ability of the CVFPB, the USACE, WSAFCA, or RD 900 to improve the flood control features and operations and maintenance along this stretch of the Sacramento River.

The CVFPB has not yet determined if an encroachment permit is necessary for this project. CVFPB has requested that the Developer provide additional geotechnical analysis to determine if the new construction would impact the Sacramento River levee system. This project is outside of the Sacramento-San Joaquin Drainage District but within its sphere of influence.

ANALYSIS

RD 900 has jurisdiction over the operations and maintenance corridor along the Sacramento River in this location. This project does not interfere with the District’s operations and maintenance.

The CVFPB, the USACE, and WSAFCA will evaluate this project from an engineering and flood control perspective.

The District has requested that the Developer provide the geotechnical analysis as requested by the CVFPB and a copy of the final CVFPB permit (if it is determined a permit is required).

Alternatives

Staff recommends the Board approve and sign the endorsement for this project.

Secondary alternative is to reject this endorsement. This alternative is not recommended. This would require the Developer to re-evaluate their structures and delay construction.

Coordination and Review

This report was prepared in coordination with District counsel.

Budget/Cost Impact

There is no cost to the District.

ATTACHMENT

Application CVFPB Encroachment Permit
CVFPB Conditions by RD 900
Environmental Assessment for CVFPB
Project Description
Site Plan
Phase 6 Project Flood Exhibits

APPLICATION FOR A CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMIT

Application No. _____ (For Office Use Only)

1. Description of proposed work being specific to include all items that will be covered under the issued permit.

The proposed Phase 6 development proposal includes a 260-unit apartment building as well as a mixed-use amenity building; these buildings are located just south of the Barn at the corner of Mill and Riverfront Streets (38.574158, -121.515574). See attached project description and Exhibits 1 and 2 showing the plan and profile for further details.

2. Project Location: Yolo County, in Section Mount Diablo Township: T8N (N) (S), Range: R4E (E) (W), M. D. B. & M. Latitude: 38.574158 Longitude: -121.515574 Stream: Sacramento River, Levee: Project Designated Floodway: N/A APN: 058-350-072

3. Gurjeet Toor, Vice President of Smart Growth Investors II, LLC Name of Applicant / Land Owner Address 1530 J Street, Sacramento CA 95814 (916) 383 3333 City State Zip Code Telephone Number gurjeett@Fulcrumproperty.com E-mail

4. Jay Punia of Wood Rodgers Inc Name of Applicant's Representative Company 3301 C Street, Sacramento CA 95816 (916)870-0770 City State Zip Code Telephone Number jpunia@woodrodgers.com E-mail

5. Endorsement of the proposed project from the Local Maintaining Agency (LMA):

We, the Trustees of Reclamation District 900 approve this plan, subject to the following conditions: Name of LMA

- Conditions listed on back of this form Conditions Attached No Conditions

Trustee Date Trustee Date Trustee Date Trustee Date



RECLAMATION DISTRICT 900

Post Office Box 673

West Sacramento, CA 95691

PH: (916) 371-1483 • [email: admin@rd900.org](mailto:admin@rd900.org)

DATE: February 16, 2023

TO: Central Valley Flood Protection Board

Subject: Proposed Phase 6 Project by Smart Growth Investors II, LLC located in West Sacramento, CA

RD 900 has the following conditions to be included on the Central Valley Flood Protection Board Encroachment Permit for Phase 6 Development Project. At the time of the submittal, the Central Valley Flood Protection Board (CVFPB) application was not complete. The following is a conditional endorsement with the following conditions:

1. A copy of the geotechnical analysis shall be provided by the applicant to RD 900, once complete, demonstrating that the proposed development will not cause any damage to the flood control facilities in the vicinity of the proposed Phase 6 Development Project.
2. If the geotechnical analysis shows potential harm to the flood control facilities, the CVFPB, the United States Army Corps of Engineers, and the West Sacramento Area Flood Control Agency must approve the geotechnical remedies prior to construction and RD 900 reserves the right to impose additional conditions on the endorsement as may be warranted.
3. A copy of the final Central Valley Flood Protection Board Permit shall be provided to RD 900 upon approval of the permit by the CVFPB Board.
4. This conditional endorsement is limited to the Phase 6 Development Project only.
5. All the work endorsed by this permit shall be in accordance with the plan and profiles shared with the RD 900.
6. If the Project changes and creates new or different conditions, RD 900 has the right to review and approve or reject this conditional endorsement.
7. RD 900 shall be notified five (5) working days prior to any construction activities.

Please feel free to contact me at my office phone number 916-371-1483 or cell 916-204-6869 or by email at BJohnson@rd900.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Blake Johnson", is written over a light yellow rectangular background.

Blake Johnson, PE
General Manager
Reclamation District 900

ENVIRONMENTAL ASSESSMENT QUESTIONNAIRE FOR APPLICATIONS FOR CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMITS

This environmental assessment questionnaire must be completed for all Central Valley Flood Protection Board applications. Please provide an explanation where requested. Incomplete answers may result in delays in processing permit applications. Failure to complete the questionnaire may result in rejection of the application.

1. Has an environmental assessment or initial study been made or is one being made by a local or State permitting agency in accordance with the California Environmental Quality Act? Yes No
- If yes, identify the Lead Agency, type of document prepared or which will be prepared, and the State Clearinghouse Number:

The City of West Sacramento as the lead agency under CEQA approved the Fulcrum Property Development Environmental Impact Report in February 2009 (SCH 2006012082) and the Supplemental EIR for the Bridge District Specific Plan Amendments in October 2009 (SCH 2008072024). TBD Phase 6 as currently proposed is consistent with the uses analyzed in the certified EIRs.

2. Will the project require certification, authorization or issuance of a permit by any local, State or federal environmental control agency? Yes No

List all other governmental permits or approvals necessary for this project or use, including U.S. Army Corps of Engineers' 404 and Section 10 permits, State Water Quality Certification, Department of Fish and Game 1600 agreement, etc. Attach copies of all applicable permits.

The project appears to be outside the USACE/CVFPB jurisdiction, however, if it is determined that is not the case then the following permits may be needed:

- 1) Section 408 permission from the USACE; 2) Central Valley Flood Protection Board Encroachment Permit; 3) Biological Assessment and Section 107 Consultations and 4) Cultural Resources Assessment and Section 106 Consultations

3. Give the name and address of the owner of the property on which the project or use is located. Please submit a copy of your current Title Report (Grant Deed), if your proposed project includes a private residence.

Smart Growth Investors II, LP
1530 J Street, No. 200
Sacramento, CA 95814

4. Will the project or use require issuance of a variance or conditional use permit by a city or county?

Yes No

Explain:

5. Is the project or use currently operating under an existing use permit issued by a local agency?

Yes No

Explain:

**ENVIRONMENTAL ASSESSMENT QUESTIONNAIRE FOR APPLICATIONS
FOR CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMITS**

6. Describe all types of vegetation growing on the project site, including trees, brush, grass, etc.

The proposed project site is barren land with couple of trees and native grasses.

7. Describe what type of wildlife or fish may use the project site or adjoining areas for habitat, food source, nesting sites, source of water, etc.

While no special status species have been observed on the site, the certified EIR considered potential impacts to valley elderberry longhorn beetle, as well as impacts to potential nesting habitat for Swainson's hawk and raptors. The EIR identified mitigation measures to reduce the identified impacts to a less-than-significant level, and those measures would continue to apply to project construction.

8. Has the Department of Fish and Game, U.S. Fish and Wildlife Service, or National Marine Fisheries Service been consulted relative to the existence of, or impacts to, threatened or endangered species on or near the project site?

Yes No

Explain:

U.S. Fish and Wildlife Service and California Department of Fish and Wildlife were consulted during the EIR preparation process and the mitigation measures included in the EIR follow recommended agency guidelines.

9. Will the project or use significantly change present uses of the project area?

Yes No

Explain:

The project site will be converted into a 7-story multifamily residential building offering approximately 260 apartments and parking along with a 5 story mixed use building of ~70K SF providing ground floor retail, residential amenity space (i.e. fitness, pool, and coworking), and upper level office space.

10. Will the project result in changes to scenic views or existing recreational opportunities?

Yes No

Explain:

The certified EIR considered whether the project would result in impacts on scenic vistas and concluded that there would be minimal opportunity for project development to affect or obscure views of scenic vistas located outside the project site, and concluded the impact would be less than significant and did not require mitigation. The project site does not include any existing recreational opportunities.

11. Will the project result in the discharge of silt or other materials into a body of water?

Yes No

Explain:

**ENVIRONMENTAL ASSESSMENT QUESTIONNAIRE FOR APPLICATIONS
FOR CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMITS**

12. Will the project involve the application, use, or disposal of hazardous materials? Yes No

If yes, list the types of materials, proposed use, and disposal plan. Provide copies of all applicable hazardous material handling plans.

13. Will construction activities or the completed project generate significant amounts of noise?

Yes No

Explain:

Construction activities would be in accordance with City permit and standard specifications. The certified EIR concluded that construction would generate noise levels that exceed the standards in the City's Noise Ordinance and would result in an increase in ambient noise levels at sensitive receptors. The EIR included mitigation measures to reduce these impacts that will continue to apply to the project, but concluded a significant impact.

14. Will construction activities or the completed project generate significant amounts of dust, ash, smoke, fumes, or odors?

Yes No

Explain:

The proposed project may result in the generation of short-term construction-related fugitive dust and construction equipment exhaust emissions of a temporary and transitory nature. Nonetheless, the certified EIR included mitigation measures in accordance with Yolo-Solano Air Quality Management District recommendations to reduce emissions and control fugitive dust that would continue to apply to the project, but concluded significant impact.

15. Will the project activities or uses involve the burning of brush, trees, or construction materials, etc?

Yes No

Explain, and identify safety and air pollution control measures:

16. Will the project affect existing agricultural uses or result in the loss of existing agricultural lands?

Yes No

Explain:

**ENVIRONMENTAL ASSESSMENT QUESTIONNAIRE FOR APPLICATIONS
FOR CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMITS**

17. Have any other projects similar to the proposed project been planned or completed in the same general area as the proposed project?

Yes No

Explain and identify any other similar projects:

There have been a dozen similar multifamily projects built in the area over the past decade consistent with the Specific Plan and EIRs for this area.

18. Will the project have the potential to encourage, facilitate, or allow additional or new growth or development?

Yes No

Explain:

While implementing the project would result in new development, the project site is in an urban area with existing roadways and other infrastructure. In addition, the City's 2035 General Plan and the Bridge District Specific Plan anticipate that the project site will be developed with a mix of uses consistent with the proposed development.

19. Will materials be excavated from the floodplain? Yes No If yes, please answer the remaining questions.

**THE REMAINING QUESTIONS MUST ONLY BE ANSWERED IF THE ANSWER TO QUESTION
NO. 19 WAS "YES". IF THE ANSWER TO QUESTION NO. 19 WAS "NO", YOU DO NOT
NEED TO COMPLETE THE REMAINING QUESTIONS.**

A. What is the volume of material to be excavated?

Annually _____ Total _____

B. What types of materials will be excavated?

C. Will the project site include processing and stockpiling of material on site?

Yes No

Explain:

D. What method and equipment will be used to excavate material?

ENVIRONMENTAL ASSESSMENT QUESTIONNAIRE FOR APPLICATIONS
FOR CENTRAL VALLEY FLOOD PROTECTION BOARD ENCROACHMENT PERMITS

E. What is the water source for the project?

F. How will waste materials wash water, debris, and sediment be disposed of?

G. What is the proposed end land use for the project site?

H. Has a reclamation plan been prepared for this site in accordance with the Surface Mining and Reclamation Act of 1975?

Yes No If yes, please attach a copy.

Project Description

The Phase 6 development proposal includes a 260-unit apartment building as well as a mixed-use amenity building; these buildings are located just south of the Barn at the corner of Mill and Riverfront Streets (38.574158, -121.515574). See attached Exhibits 1 and 2 showing the plan and profile for the apartment and mixed-use amenity buildings.

Our overall development mission for the Bridge District is to provide a planned, waterfront oriented urban core for the City of West Sacramento (City), that will complement established residential and commercial districts within the City with a balanced mix of uses. The community is being designed using the concept of urban living, which is designed to build a neighborhood that lives at a responsible urban density, provides a walkable community, enjoys a meaningful relationship to the outdoors, and provides street front activation.

The ground floor retail space is strategically located just south of the Barn and it anchors the northern end of the Riverfront Street retail corridor. This location is ideal as it builds upon the existing energy of Drakes next door and Franquette across the street. The frontage is stepped back at the corner to allow for outdoor dining to spill out without impeding pedestrian activity. A storefront system wraps the corners with an overhead ‘eyebrow’ canopy that provides a sense of enclosure.

The residential component includes units above podium parking as well as a series of ground floor units on the Riverfront Street and Mill Street corridor with outdoor stoops and patios. The outdoor areas create a semi-private realm where residents may sit, eat and lounge outside, inhabiting and enlivening a spatial transition zone between their units and the public right of way, this layout creates more opportunities for indoor/outdoor living. The ground residential units on Riverfront Street are envisioned as live work units with dual sliders that can connect the indoor work environment to the outdoor patio, and further energize the streetscape. Lastly, the riverside of the development includes five points of connection to the river, the most prominent of which is the central stairwell that connects the River Walk with the residential courtyard and building elevators to allow for convenient access to and from the building while also creating a peek through view corridor of the riverfront for all residents to enjoy. While residential units could not be placed on the first floor of the riverside due to challenges with the existing grade, we were, after considerable effort, able to place them strategically within the 2nd level of the parking podium to further facilitate the activation the eastern façade.

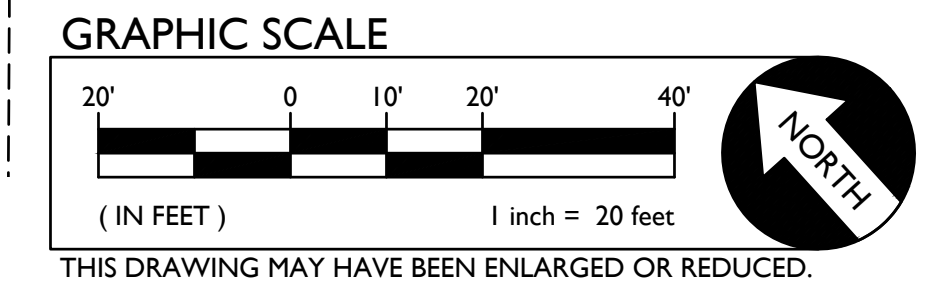
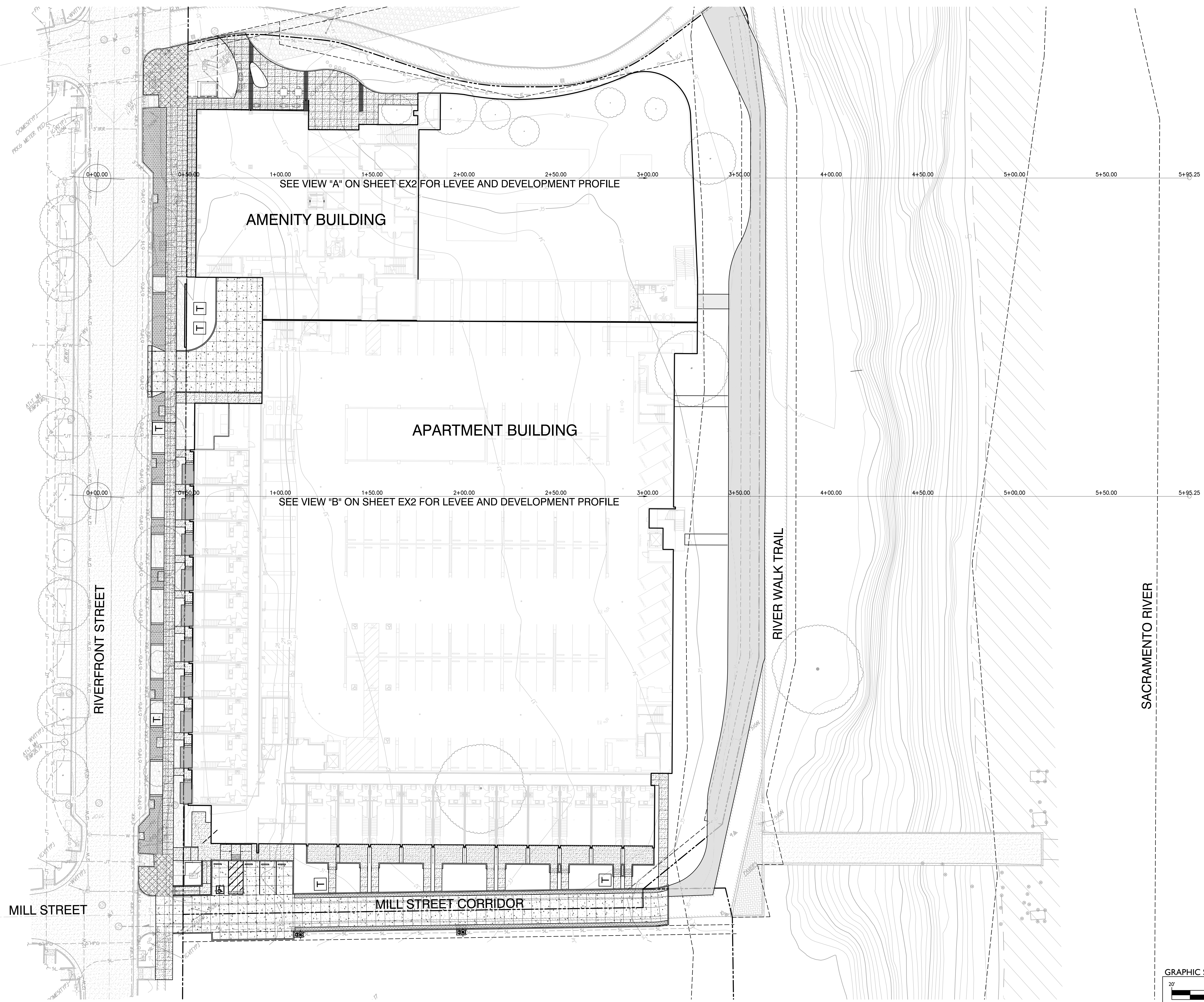
The amenity and residential lobbies were placed at opposite corners to further facilitate the activation of the district. The amenity building lobby will serve all the Bridge District residents as well as three levels of office tenants; this will help create new pedestrian traffic patterns throughout the neighborhood and strengthen neighborhood engagement from early morning to evenings. The residential building lobby was purposefully placed at the southern corner of the block to anchor the project and create another destination node for pedestrian traffic.

The activation and energy of the project continues on a private pool deck along the river’s edge and on the bike path next to Drake’s. The pool deck provides an outdoor community gathering space for all of the nearby residents of The Bridge District. The pool deck includes fitness facilities

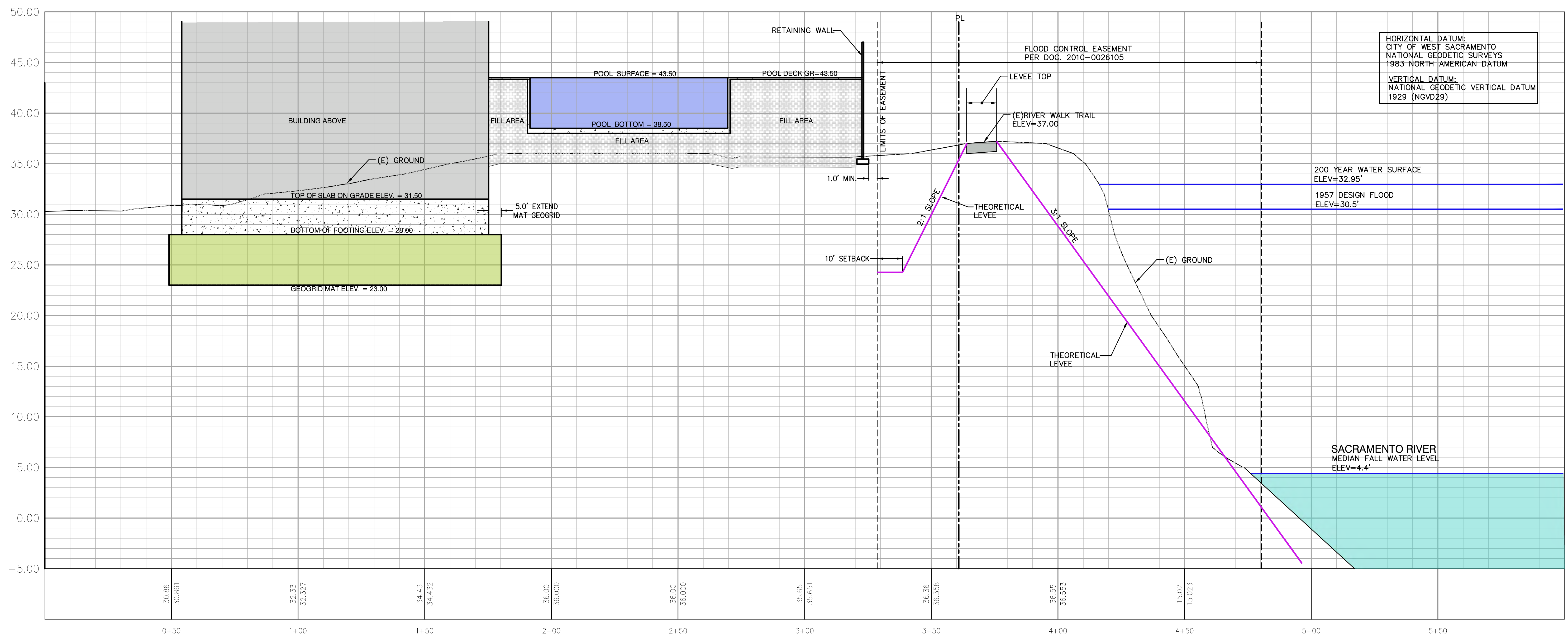
and lounge space to allow residents to interact, workout, and build community, all while celebrating the Riverfront and city-scape views. Glimpses into this slot from Riverfront Street provide a hint of views to the south through glazing beyond the facade while allowing natural daylight to pass through.



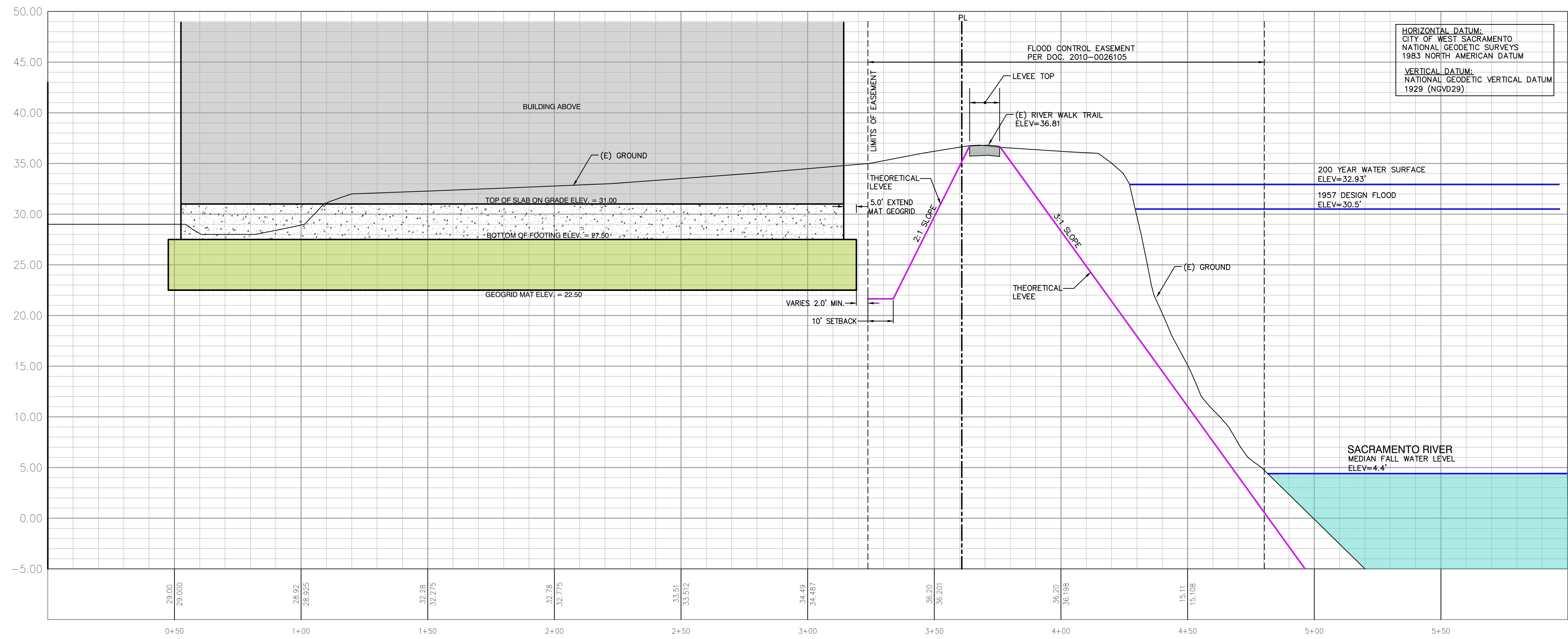
FILENAME: I:\22-036\036\036_VLM\FLOOD_EXHIBITS\22-036-EX1.DWG PLOTTED: Tuesday, January 10, 2023



WC WARREN CONSULTING ENGINEERS, INC. 1117 WINDFIELD WAY, SUITE 110 EL DORADO HILLS, CALIFORNIA 95762 (916) 886-9810 CALIFORNIA		TITLE: SITE PLAN PROJECT: THE BRIDGE DISTRICT PHASE 6 CITY OF WEST SACRAMENTO	SHEET NO. EX1
DESIGNED: AT NO. _____ DRAWN: AT _____ CHECKED: AT _____ DATE: 01-10-23	REVISIONS NO. DESCRIPTION _____ _____	AGENCY APPROVAL BY: _____ DATE: _____	HORIZONTAL SCALE: AS NOTED VERTICAL SCALE: AS NOTED JOB NO.: 22-036
A.P.N. 058-350-062-000 BENCHMARK NO. B14-02 ELEV. 17.42 NO. 29		ELEVATIONS SHOWN HEREON ARE REFERENCED TO CITY OF WEST SACRAMENTO BENCHMARK B14-02, A 3-1/4" BRASS DISC SET IN A 5" DIA. CONCRETE PAD AT THE INTERSECTION OF THE NORTHERLY EDGE OF MILL STREET AND THE NORTHERLY EDGE OF W. CAPITAL AVE., HAVING A PUBLISHED ELEVATION OF 17.42".	



VIEW "A" - AMENITY BUILDING LEVEE AND DEVELOPMENT PROFILE



VIEW "B" - APARTMENT BUILDING LEVEE AND DEVELOPMENT PROFILE

FILENAME: \\22-036\COMMON\WATER\EXHIBITS\22-036-EX2.DWG PLOTTED: Tuesday, January 10, 2023

DESIGNED: AT NO. _____		DATE: 01-10-23	
DRAWN: AT _____		DATE: _____	
CHECKED: AT _____		DATE: _____	
DATE: 01-10-23		JOB NO.: 22-036	
REVISIONS		AGENCY APPROVAL	
NO.	DESCRIPTION	BY	DATE
HORIZONTAL SCALE: AS NOTED		BENCHMARK NO. B14-02	
VERTICAL SCALE: AS NOTED		ELEV. 17.42	
056-350-062-000 CITY OF WEST SACRAMENTO NATIONAL GEODETIC SURVEYS 1983 NORTH AMERICAN DATUM ELEVATIONS SHOWN HEREON ARE REFERENCED TO CITY OF WEST SACRAMENTO BENCHMARK B14-02, A 3-1/4" BRASS DISC SET IN A 5 1/2" DIA. CONCRETE PIER AT THE NORTHERLY EDGE OF W. CAPITAL AVE., HAVING A PUBLISHED ELEVATION OF 17.42'.			
TITLE: LEVEE & DEVELOPMENT PROFILE PROJECT: THE BRIDGE DISTRICT PHASE 6 CITY OF WEST SACRAMENTO CALIFORNIA			
EX2			



General Manager Update

February 16, 2023

ADMINISTRATION/FINANCE

The District's Employee Handbook was last edited in 2017. Counsel and Staff will review for any necessary updates.

Staff reviewed comments from our financial audit and came up with options and recommendations for the following:

1. SEGREGATION OF DUTIES

Options:

- a. Do nothing, status quo.
- b. General Manager approves invoices, Board member signs checks.
- c. Hire Assistant General Manager to approve invoices, General Manager signs checks.

Recommend: Option c.

2. ACCRUAL OF REIMBURSABLE GRANT COSTS

This comment was primarily based on our billings for FMAP. District's previous practice was to bill DWR for FMAP at the beginning of the calendar year (usually Feb/Mar). District will now invoice DWR for FMAP at the end of the fiscal year (June, invoice will go out in July/Aug. to ensure all charges are recognized).

3. FINANCIAL POLICIES AND PROCEDURES

Options

- a. Do nothing, status quo
- b. Prepare a Financial Policies and Procedures for the District. Staff and Accountant will request these procedures from the City for guidance. Assistant General Manager could also provide oversight of some procedures.

Recommend: Option b.

Financial Update: See attached.

OPERATION AND MAINTENANCE

LEVEE/DRAINAGE/PUMP MAINTENANCE

Staff have been working around the clock due to the storms beginning just before Christmas and ending January 16, 2023. Levees held up real well, with 2 minor slips along the Deep Water Shipping Channel (near the District's old Corp. yard). Pump stations ran adequately and ran for long durations with a few minor electrical problems that we are working on. The ditches were cleaned of debris during the storms to allow flowage. The ditches are showing signs of erosion. Staff will need to repair as the ground dries up.

PROJECTS

Blacker Canal Bank Stabilization Project

The District's environmental consultant (Marcus Bole & Assoc./ECORP) and submitted water quality permits for the State of California. The District paid the California Department of Fish and Wildlife's 1602 permit fees: \$6,236.

Our consultant also submitted the Regional Water Quality Control Board 401 Water Quality Certification. Fees are not due until approved. Fees: \$2,031

District is targeting 2023 construction.

RD900 OFFICE, 889 DREVER ST.

SANITARY SEWER

The sanitary sewer lines in the entire building have been repaired, we have toilets that function and sinks that drain! Total cost to slip line and epoxy approximately 300 feet of sewer line: \$103,632.90.

WATER LINES

The office water turns yellow/brown after a few gallons. More than likely from the old, galvanized pipes, they tend to rust/corrode. We'll see if it clears up, could have been caused by the sewer work (if the water lines were close to the sewer lines). The sewer rehab shook the ground so it could have jarred some rust loose in the water lines. It's been about a week since the sewer was finalized, we're still getting murky water.

A lab has been called to test the water for contamination, waiting for response.

ROOF

Roofing contractor began work February 6. After removal of roof material, rotted and warped plywood and joists were identified and have been replaced. Total bill \$86,486. Original Contract: \$58,104.

Theft – new roofing material was stolen from the roof in the early morning of 2/10/2023.

OFFICE LANDSCAPING

Staff working on a Request for Proposal for landscape design.

OFFICE SIGNAGE

Staff should have a Request for Proposal for office signage.

SOLAR

it might make sense to add solar to the office building to offset some of our electric bills for the pump stations. Our bills are quite high (\$22k for January) due to the amount of rain we received – the pumps runs frequently. I will get a few quotes to see if it makes sense. I've been trying to follow NEM 2.0 (current CPUC rules) vs NEM 3.0 (new as of April 2023):

	NEM 3.0	Comment
1.	It features a major reduction in the net metering value of solar electricity	If the solar system produces more energy that what is used, PG&E will buy it back at a significantly reduced rate (8 cents per kw vs. 30 cents per kw).
2.	There are no new charges or fees, commonly known as "solar taxes"	Assume this is a good thing.
3.	Pairing solar with battery storage will be more beneficial under NEM 3.0	We can determine if battery storage is beneficial in the future (for the main office, not sure if battery storage is beneficial since working hrs are typically during daylight hrs)
4.	Solar customers that submit an interconnection application before April 13, 2023 can be grandfathered into NEM 2.0 for 20 years	RD 900 would receive the larger reimbursement from PG&E if the solar system produced more energy than we use (30 cents vs 8 cents).
5.	Solar owners that are grandfathered into NEM 2.0 will be able to add battery storage later and remain on NEM 2.0	Gives us time to determine if battery storage is beneficial.

PERIODIC LEVEE INSPECTIONS

DWR/USACE
NA

EMERGENCY PREPAREDNESS

City/RD 900/County
Working with Yolo County for FEMA coordination.

COORDINATION WITH OTHER PROJECTS

DWR
NA

COORDINATION WITH OTHER AGENCIES

WEST SACRAMENTO AREA FLOOD CONTROL AGENCY

FUTURE

TBD – WSAFCA Board Meeting (Teleconference), 9 am
TBD – RD 900 Board Meeting (Teleconference), 6 pm

Reclamation District 900
Budget vs. Actuals: FY 22-23 Budget RD 900 - FY23 P&L
July 2022 - June 2023

	Actual	Budget	Total over Budget	% of Budget
Income				
4000 RD 900 Assessments	2,515,496	2,504,894	10,602	100.42%
RD 537	79,334	79,334	0	100.00%
Total 4000 RD 900 Assessments	\$ 2,594,830	\$ 2,584,228	\$ 10,602	100.41%
4010 WSAFCA	767,478		767,478	
RD 537 WSAFCA	63,204	839,250	-776,046	7.53%
Total 4010 WSAFCA	\$ 830,682	\$ 839,250	-\$ 8,568	98.98%
4020 Interest Income	20,792	55,000	-34,208	37.80%
4100 Funding Agreements			0	
4110 WUSD Maint Fee		7,000	-7,000	0.00%
4120 DWR			0	
RD 900		350,000	-350,000	0.00%
Total 4120 DWR	\$ 0	\$ 350,000	-\$ 350,000	0.00%
4130 FEMA	17,878		17,878	
Total 4100 Funding Agreements	\$ 17,878	\$ 357,000	-\$ 339,122	5.01%
4111 RD 811 Power Reimbursement	3,120	3,950	-830	78.98%
4200 Miscellaneous	-570	2,500	-3,070	-22.80%
4300 Retiree Healthcare	4,402	5,500	-1,098	80.04%
4400 Unrealized Gains from		20,000	-20,000	0.00%
Investments			20,000	0.00%
Total Income	\$ 3,471,135	\$ 3,867,428	-\$ 396,293	89.75%
Gross Profit	\$ 3,471,135	\$ 3,867,428	-\$ 396,293	89.75%
Expenses				
5000 Administrative			0	
5010 Permits & Fees	22,930	41,600	-18,670	55.12%
5011 Assessments Paid	9,882	9,500	382	104.02%
5020 Memberships	9,396	9,800	-404	95.88%
5030 Liability/Auto Insurance	33,465	67,425	-33,960	49.63%
5040 Professional Fees	1,665		1,665	
5041 Legal	16,899	32,000	-15,101	52.81%
5042 Assessments	17,088	18,000	-912	94.93%
5043 Accounting & Payroll	12,500	42,000	-29,500	29.76%
5044 City Shared Service	7,487	15,000	-7,513	49.91%
5045 Document Management		15,000	-15,000	0.00%
Total 5040 Professional Fees	\$ 55,639	\$ 122,000	-\$ 66,362	45.61%
5050 Office			0	
5052 Utilities	7,257	10,000	-2,743	72.57%
5053 Janitorial & Cleaning				
Supplies	1,904	3,600	-1,696	52.89%
5054 Supplies & Software	7,289	6,000	1,289	121.48%
5055 Office Equipment	2,057	10,000	-7,943	20.57%
5056 Furnishing	6,548	20,000	-13,452	32.74%
5057 Other	1,497	4,000	-2,503	37.43%
Total 5050 Office	\$ 26,552	\$ 53,600	-\$ 27,048	49.54%
Total 5000 Administrative	\$ 157,864	\$ 303,925	-\$ 146,062	51.94%
5200 Labor & Related			0	
5210 Compensation	-18,567		-18,567	
5211 Administrative Salary	105,728	314,568	-208,840	33.61%
5212 Field Salaries	136,401	366,996	-230,595	37.17%
5213 OT/ EMERGENCIES		8,000	-8,000	0.00%
5214 Payroll Taxes	16,767	54,060	-37,293	31.02%
Total 5210 Compensation	\$ 240,329	\$ 743,624	-\$ 503,295	32.32%
5220 Benefits			0	
5221 Medical Insurance	57,267	125,736	-68,469	45.55%
5222 Dental Insurance	1,890	3,744	-1,854	50.48%
5223 Retiree Medical	15,645	29,952	-14,307	52.23%
5224 Retirement	30,998	97,240	-66,242	31.88%
Total 5220 Benefits	\$ 105,800	\$ 256,672	-\$ 150,872	41.22%
5260 Workers Comp	9,621	31,200	-21,579	30.84%
5270 Uniforms	2,697	5,400	-2,703	49.94%
5280 Training & Licensing	0	6,000	-6,000	0.00%
Total 5200 Labor & Related	\$ 358,447	\$ 1,042,896	-\$ 684,449	34.37%

5400 Operations & Maintenance				0	
5410 Facilities				0	
5411 Power	45,493	120,000	-74,507	37.91%	
5412 Fuel		10,000	-10,000	0.00%	
5413 Supplies/Materials	13,413	16,000	-2,587	83.83%	
5414 Repairs	788	15,000	-14,212	5.25%	
5415 Equipment & Tools	2,200	20,000	-17,800	11.00%	
Total 5410 Facilities	\$ 61,894	\$ 181,000	-\$ 119,106	34.20%	
5420 Herbicide	21,361	65,000	-43,639	32.86%	
5430 Field Services		60,000	-60,000	0.00%	
5440 Debris and Trash Disposal	2,495	15,000	-12,505	16.63%	
5450 Professional Fees- Maint.			0		
5451 Pesticide	10,244	17,500	-7,257	58.53%	
5452 Engineering	1,820	19,000	-17,180	9.58%	
5453 Other	88	3,000	-2,912	2.93%	
Total 5450 Professional Fees- Maint.	\$ 12,152	\$ 39,500	-\$ 27,348	30.76%	
5460 Equipment			0		
5461 Fuel	18,993	40,000	-21,007	47.48%	
5462 Repair/Service	6,620	42,500	-35,880	15.58%	
5463 Parts/Supplies	4,139	32,500	-28,361	12.74%	
5464 Rentals	1,984	16,000	-14,016	12.40%	
Total 5460 Equipment	\$ 31,736	\$ 131,000	-\$ 99,264	24.23%	
Total 5400 Operations & Maintenance	\$ 129,637	\$ 491,500	-\$ 361,863	26.38%	
6000 Repair Replacements & Rehab	50,380		50,380		
6030 Professional Fees	48,526		48,526		
6031 Engineering	61,936		61,936		
Total 6030 Professional Fees	\$ 110,462	\$ 0	\$ 110,462		
Total 6000 Repair Replacements & Rehab	\$ 160,842	\$ 0	\$ 160,842		
Total Expenses	\$ 806,790	\$ 1,838,321	-\$ 1,031,531	43.89%	
Net Operating Income	\$ 2,664,344	\$ 2,029,107	\$ 635,237	131.31%	
Net Income	\$ 2,664,344	\$ 2,029,107	\$ 635,237	131.31%	